

**CITY OF WORTHINGTON**  
**PLANNING COMMISSION MEETING AGENDA**

**April 7, 2026; 7:00 p.m.**

**COUNCIL CHAMBERS, CITY HALL**

- 1. CALL TO ORDER**
- 2. NEW COMMISSIONER WELCOME**
- 3. AGENDA ADDITIONS/CHANGES AND CLOSURE**
  1. Additions/changes
  2. Closure
- 4. APPROVAL OF MINUTES**
  1. **March 3, 2026 Meeting**
- 5. PLANNING COMMISSION BUSINESS**
  - 1. ELECTION OF OFFICERS**
  - 2. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION  
1710 Humiston Avenue**
  - 3. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION  
921 Diagonal Road (vacant lot)**
  - 4. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION  
Industrial Wastewater Treatment Plant**
  - 5. PLANNING COMMISSION DISCUSSION  
Bylaw Amendments**
- 6. OTHER BUSINESS**
  - **Commission vacancy**
  - **Zoning Code Update**
  - **Next Meeting: May 5<sup>th</sup>, 2026**

**ADJOURNMENT**

**CITY OF WORTHINGTON  
PLANNING COMMISSION MEETING  
Tuesday, March 3, 2026; 7:00 p.m.  
COUNCIL CHAMBERS, CITY HALL**

**Members Present:** Jason Gerdes, Erin Schutte Wadzinski, Brad Brake, and Craig Stock

**Absent:** Mark Vis, Michael Hoefft, and Chris Kielblock

**Staff:** Matt Selof, Director of Community Development/Planning & Zoning; and Eddica Castañeda, Administrative Assistant

**Others Present:** Claire Stickler, MSA; Chloe Farnsworth, The Daily Globe

**CALL TO ORDER**

Jason Gerdes called the meeting to order at 7:00 p.m.

**AGENDA ADDITIONS/CHANGES AND CLOSURE**

Erin Schutte-Wadzinski motioned to approve the agenda; seconded by Brad Brake. Motion was approved unanimously.

**APPROVAL OF MINUTES – December 2, 2025, Meeting**

Craig Stock motioned to approve the Minutes; seconded by Brake. Motion was approved unanimously.

**1.) PLANNING COMMISSION BUSINESS:**

**PLANNING COMMISSION DISCUSSION  
Zoning Code Update – Presentation of MSA Technical Memo 2**

Selof introduced the Commission to Claire Stickler who initiated her presentation by sharing her Agenda. She indicated that they are in phase 2 and moving into phase 3. Claire went into the regulatory audit summary and shared different topics such as residential area overlapping and mixed-use development. She also provided a policy review of signs; zoning and alignment. Discussed the different zoning areas within the City and what they are looking to modify. Claire shared some of their recommendations.

**Discussion** – Schutte-Wadzinski expressed her concern on historical homes and businesses and their conservation. Stock mentioned the conservation of trees. These items will be researched further.

**OTHER BUSINESS:**

Outgoing Commission Members (Mark Vis and Michael Hoeft)

Next meeting is set for April 7, 2026

**ADJOURNMENT**

Stock moved to adjourn the meeting; seconded by Schutte-Wadzinski. Motion approved unanimously.

The meeting was adjourned at 7:32 p.m.

## **1. ELECTION OF OFFICERS**

Article IV, Section 1, of the Bylaws of the Worthington Planning Commission, requires that the Commission holds an annual meeting on the first Tuesday in May. Article VI, Section 1, of the Bylaws, requires that during the annual meeting, the Commission shall elect a Chairperson and a Vice-Chairperson from the voting membership. Article VI, Section 3, states that the Chairperson serves as the executive head of the Commission, and presides over all meetings. Article VI, Section 3, states that the Vice-Chairperson shall exercise the powers and duties of the Chairperson in their absence. Article VI, Section 2, requires that a member must serve for at least one year before they are eligible for an officer position and that no member may be elected to office for more than two consecutive years.

Despite the May date established by the Commission's Bylaws, the past practice has been to hold the Commission's annual meeting in April. In keeping with past precedence, the April 7, 2026, regular meeting has been scheduled as the Commission's annual meeting. Therefore, the Commission must elect officers for the following twelve-month term, ending in March of 2026. Commissioner Kielblock, as the City Council representative, is ineligible for an officer position on the Commission. Commissioner Murphy has served less than one year and is ineligible for an officer position. Commissioner Gerdes has served two consecutive years as an officer and is now ineligible.

Commissioners Stock, Schutte Wadzinski, and Brake, are eligible for officer positions.

Staff requests the Commission to elect the Commission's officer positions for 2026 pursuant to the Commission's Bylaws Article VI, Section 1.

## **2. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION** **Variance Request – 1710 Humiston Avenue**

### **A. Background**

Curtis Thomson has applied for a variance to allow the property at 1710 Humiston Avenue to exceed the maximum allowed signage by 70.5 square feet. The applicant is currently in the process of moving their business into a portion of the existing building and is seeking the additional square feet to allow for signage for their business. The subject property is allowed a maximum of 300 square feet of signage in accordance with City Code Chapter 153.20. The site is currently non-conforming.

## **B. Considerations**

1. The applicant owns and operates a Jimmy John's franchise. After the loss of their lease at their previous location in 2025 they have worked out an agreement to occupy a portion of the existing building at 1710 Humiston Avenue, the site of Cenex. Construction is currently underway.

The applicant began working on signage plans and discovered the site was already non-conforming. They are requesting a variance to allow for the installation of a sign on the building advertising the new business. The property is shown in Exhibit 1A.

2. City Code Section 153.20 stipulates the total square footage of signage allowed on any given property in the City. In the 'B-3' district, the zoning designation of the subject property, the square footage is calculated as 4% of the total area covered by buildings or 2 square feet for every 1 linear foot of street frontage, whichever is greater. In this case, the street frontage calculation grants the greatest amount of square footage. Square footage is calculated by lot, not by business.

The subject property has 150 feet of street frontage along the frontage road. This grants the property a maximum of 300 square feet of signage. The property is currently at approximately 323 square feet with the current signage. The site currently has a pylon sign with a large Cenex logo, a digital sign, and gas prices. The site also contains 3 smaller logos on the canopies over the fuel pumps. City Code requires that each sign face be counted against the total square footage (i.e. both sides of a two-sided sign is counted against the allowed square footage).

Staff is unsure how the site ended up 23 square feet over the maximum limit. It could be due to different things like an unpermitted sign or a miscalculation in the past. The site is considered non-conforming at this time. Current photos of the site can be seen in Exhibit 1B.

3. The applicant is proposing a sign to be mounted on the building that is approximately 47.5 square feet. The proposed sign can be seen in Exhibit 1C. It is planned to be mounted on the building facing north, likely with an angled brace off the roof.

Due to the non-conforming nature of the site, the applicant is seeking a variance to allow for an additional 70.5 square feet of signage on the site. This would allow for

the 23 square feet of signage currently existing that is over the limit and the proposed new 47.5 square foot sign.

4. There have been two previous variance requests for additional signage on the subject property, both in 2019. The requests were denied. Both requests were identical and sought to allow a sign for a pizza business that occupied part of the building in the past.
5. Pursuant to Minnesota Statute 462.357 Subd. 6, the applicant must satisfy the three-factor test for practical difficulties and the request variance must be in harmony with the general purposes and intent of the Ordinance. The terms of the variance must also be consistent with the Comprehensive Plan. The three-factor test is as follows:

- 1) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.

The property owner and applicant desire to be able to advertise the new business being added to the property. While Jimmy John's will be in the rotation on the digital face on the pylon sign, they are seeking a permanent sign on the building.

- 2) The plight of the landowner is due to circumstances unique to the property not created by the landowner.

The subject property is comparable to other 'B-3' zoned properties with similar uses. The only notable difference here is that the proposed sign is a result of a later addition of another business to the building resulting in conflicts between existing signage, signage for the new business, and the requirements of City Code.

- 3) The variance, if granted, will not alter the essential character of the locality.

The subject property is located on a main commercial corridor. There are a number of large signs on surrounding properties, many of which are lit signs. The proposed sign is unlikely to drastically alter the look and character of the area.

6. The proposed variance must also be in harmony with the general purpose and intent of the ordinance and be in line with the Comprehensive Plan. The City's 2024 Comprehensive Plan does not directly address signage but support for businesses and infill development are identified as key goals.

The purpose of the ordinance establishing limits on signage is to protect the character of different areas of the City, reduce distractions to drivers, and mitigate impacts on surrounding properties (such as bright lights at night). The variance is only seeking to add one new sign that would face a neighboring commercial property. This is likely within the general purpose of the ordinance.

### **C. Conclusion**

The proposed variance is a result of an existing business utilizing all of the allotted sign coverage for their property before knowing that another business would someday share the space. The Commission should carefully consider whether a practical difficulty in complying with the ordinance has been established by the applicant.

## **3. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION**

### **Variance Request – 921 Diagonal Road (vacant lot)**

#### **A. Background**

T & S Rentals is requesting approval of a variance to allow for the construction of a home at 921 Diagonal Road (parcel 31-0571-500) without extending fill at an elevation of no lower than one foot below the regulatory flood protection elevation at least 15 feet beyond the structure as required by City Code Section 152.041.

#### **B. Consideration**

1. The subject property, shown in Exhibit 2A, is currently a vacant lot. The previous home was demolished in 2024. The applicant later purchased the lot and intends to construct a new home on the property.
2. The lot is located in the flood hazard zone, zone AE as shown in Exhibit 2B. This zone is estimated to have 1% annual chance of flooding (sometimes known as the 100-year flood zone). Structures in this zone are generally required to obtain flood insurance.

Development in Zone AE carries a number of additional requirements focused primarily on ensuring structures are flood proof and that damage in the event of a flood is minimal.

City Code Section 152.041 requires that structures be elevated on fill so that the lowest floor is at or above the regulatory flood protection elevation (one foot above the regional flood elevation). Fill must extend at the base flood elevation a minimum of 15 feet around the structure. An illustration of these requirements from the Minnesota DNR can be seen in Exhibit 2C.

The applicant is able and planning to meet the elevation requirements for the home but is seeking the variance due to the lot width. The lot is approximately 60.5 feet wide in the front and progressively gets narrower toward the rear of the lot. Extending fill 15 feet on each side would take approximately half the lot width.

The lowest floor of the proposed house will be approximately 18 inches about the current grade of the lot. The side yard setbacks will be 5 feet on one side and approximately 6.5 on the other side which meets the requirements of the 'R-3' district.

3. City Code Section 152.092 specifies a number of things to consider with flood plain variance requests. These include:
  - A showing of good and sufficient cause.
  - A determination that failure to grant the variance would result in exceptional hardship to the applicant.
  - A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances.
  - Variances may only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
  - The potential danger to life and property due to increased flood heights or velocities caused by encroachments.
  - The danger that materials may be swept onto other lands or downstream to the injury of others.
  - The proposed water supply and sanitation systems, if any, and the ability of these systems to minimize the potential for disease, contamination and unsanitary conditions.
  - The susceptibility of any proposed use and its contents to flood damage and the effect of such damage on the individual owner.

- The importance of the services to be provided by the proposed use to the community.
  - The requirements of the facility for a waterfront location.
  - The availability of viable alternative locations for the proposed use that are not subject to flooding.
  - The compatibility of the proposed use with existing development and development anticipated in the foreseeable future.
  - The relationship of the proposed use to the comprehensive land use plan and flood plain management program for the area.
  - The safety of access to the property in times of flood for ordinary and emergency vehicles.
  - The expected heights, velocity, duration, rate of rise and sediment transport of the flood waters expected at the site.
4. Pursuant to Minnesota Statute 462.357 Subd. 6, the applicant must satisfy the three-factor test for practical difficulties. The three-factor test is as follows:

- 1) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.

The property owner wishes to construct a home on a fairly narrow lot where a typical home will not leave enough room on the lot to meet the requirements of the flood plain ordinance. Staff finds this request to be reasonable.

- 2) The plight of the landowner is due to circumstances unique to the property not created by the landowner.

The subject property is narrow and was developed prior to the strict flood plain requirements that exist today. The lot was not originally intended to accommodate an average single-family home and leave enough space to extend fill 15 feet in all directions.

- 3) The variance, if granted, will not alter the essential character of the locality.

The variance, if granted, may have a more positive impact on surrounding properties than strict enforcement of the ordinance would. Neighboring properties sit below the base flood elevation and the closest neighboring house has a basement. Bringing the subject property up to the required fill may have negative impacts on surrounding properties during flood or significant rain.

5. The proposed variance must also be in harmony with the general purpose and intent of the ordinance and be in line with the Comprehensive Plan. The City's 2024 Comprehensive Plan identifies in-fill development as a goal for the community and reducing flooding impacts of storm events through continued improvements to the City's stormwater management system. The proposed project will result in a new home in an older part of town that closer to compliant with flood plain requirements than the previous home on the property was. Granting of the variance would mitigate potential negative impacts to surrounding properties and provides the minimum amount of relief needed to make the project feasible.
6. Photos of the subject property can be seen in Exhibit 2D.

### **C. Conclusion**

The proposed variance will allow for a new home on the lot. It is unlikely that anything will be built on the property if the fill requirements are strictly enforced. The narrow lot width creates a difficulty in complying with the ordinance and compliance with the ordinance may have adverse impacts on surrounding properties.

Staff recommends approval of the requested variance.

## **4. PUBLIC HEARING AND BOARD OF ZONING APPEALS ACTION**

### **Variance Request – Industrial Wastewater Treatment Plant**

#### **A. Background**

HR Green has applied for a variance on behalf of Swift & Company to allow for new structures to be built at the industrial wastewater treatment plant located approximately half a mile north of I-90 and east of Highway 60. The subject property is located in Safety Zone A as defined in the City Code Chapter 156 (Airport Zoning) where new structures are not permitted due to the proximity to runway 11/36. The applicant is seeking a variance to allow for new structures to support upgrades to the treatment plant. The proposed new structures will be located in the vicinity of the existing buildings.

#### **B. Considerations**

1. The City of Worthington maintains airport zoning requirements as required by State and Federal regulations. These requirements focus primarily on height restrictions

and clearance zones around the two runways. Airport zoning is broken down into different zones based on distance from the airport and runways. Each zone carries different requirements with zones A and B being the most restrictive. The City's airport zoning can be seen in Exhibit 3A.

2. The industrial wastewater treatment plant sits on the east side of Highway 60, approximately half a mile north of I-90 and is shown in Exhibit 3B. The plant serves JBS and a few other users. It is owned and operated by JBS.

The plant is near maximum capacity and subject to new and updated requirements for treatment. JBS has contracted with HR Green to overhaul the plant, increase capacity, and ensure they meet new requirements for the operation of the plant. Their proposed plans include demolition of some existing buildings and construction of new buildings. Upon review, it was discovered the portion of property planned for new buildings (and containing existing buildings) falls within Zone A, the approach zone for runway 11/29. A better look at Zone A in this area can be seen in Exhibit 3C.

Zone A is defined as the area extending out from the runway for two thirds of the runway length. Structures are prohibited in Zone A according to City Code City 156.17 (C) (2). The existing structures pre-date the ordinance.

The applicant is seeking a variance to permit new structures in this area. Their proposed plans can be seen in Exhibit 3D (note, this plan does not show what buildings are planned for demolition). Pages 24-33 show the existing buildings on site.

3. As stated earlier, Zone A is based on the overall runway length. Specifically, Zone A extends a distance equal to two thirds of the runway. Presently, runway 11/29 is 5,500 feet long yet Zone A is based on a potential extension to 7,000 feet. The City has evaluated the likelihood of an extension occurring and determined that it is unlikely. Necessary steps to amend the ordinance and associated items will be taken to bring Zone A into alignment with the current length of the runway. Doing so will put the treatment plant property in Zone B which does allow new structures. Staff believes a variance is appropriate at this time to allow the project to move forward while necessary steps are taken to amend the ordinance.
4. City Code Section 156.21 states that variances from regulations contain in Chapter 156, airport zoning shall be allowed "where it is duly found that a literal application

or enforcement of the regulations... would result in practical difficulty or unnecessary hardship...”.

The subject property does not have any available space to relocate buildings that would fall outside of Zone A. Moving the entire plant would be a significant challenge, both in finding land to move it to and constructing associated infrastructure from the businesses to the plant. Prohibiting new buildings also poses a significant challenge to the owner in complying with NPDES (National Pollutant Discharge Elimination System) requirements and maintaining the necessary capacity for the business the plant serves.

### **C. Conclusion**

The City plans to take the necessary steps to amend the airport zoning ordinance to reflect the actual runway length of runway 11/29 which will bring the subject property out of Zone A. This process may take significant time and so a variance in the meantime will allow the project to move forward.

Staff believes denial of the variance would result in unnecessary hardship and constitute a practical difficulty. There is no other way to meet the capacity needs and changing treatment requirements of the plant without constructing new buildings.

Staff recommends approval of the variance.

## **5. PLANNING COMMISSION DISCUSSION**

### **Amendments to Bylaws – Term Limits & Officer Eligibility**

The Planning Commission’s bylaws set terms for Planning Commissioners at 3 years with a maximum consecutive term limit of 2 (total of 6 years).

Staff would like the Commission’s input on possibly raising the term limit to 3. A change in the term limit does not obligate anyone to serve for the maximum number of terms but it does provide the option should a commissioner wish to continue serving after two terms. The bylaws also currently limit officer roles to two consecutive years. Staff would like Commission’s input on removing the two-year limit and leaving the annual elections in place. This change would increase eligibility each year for officer positions but would still require annual elections for those positions.



# 1710 Humiston Avenue



## Legend

-  City\_Limits
-  parcels
- Easements**
-  Easements




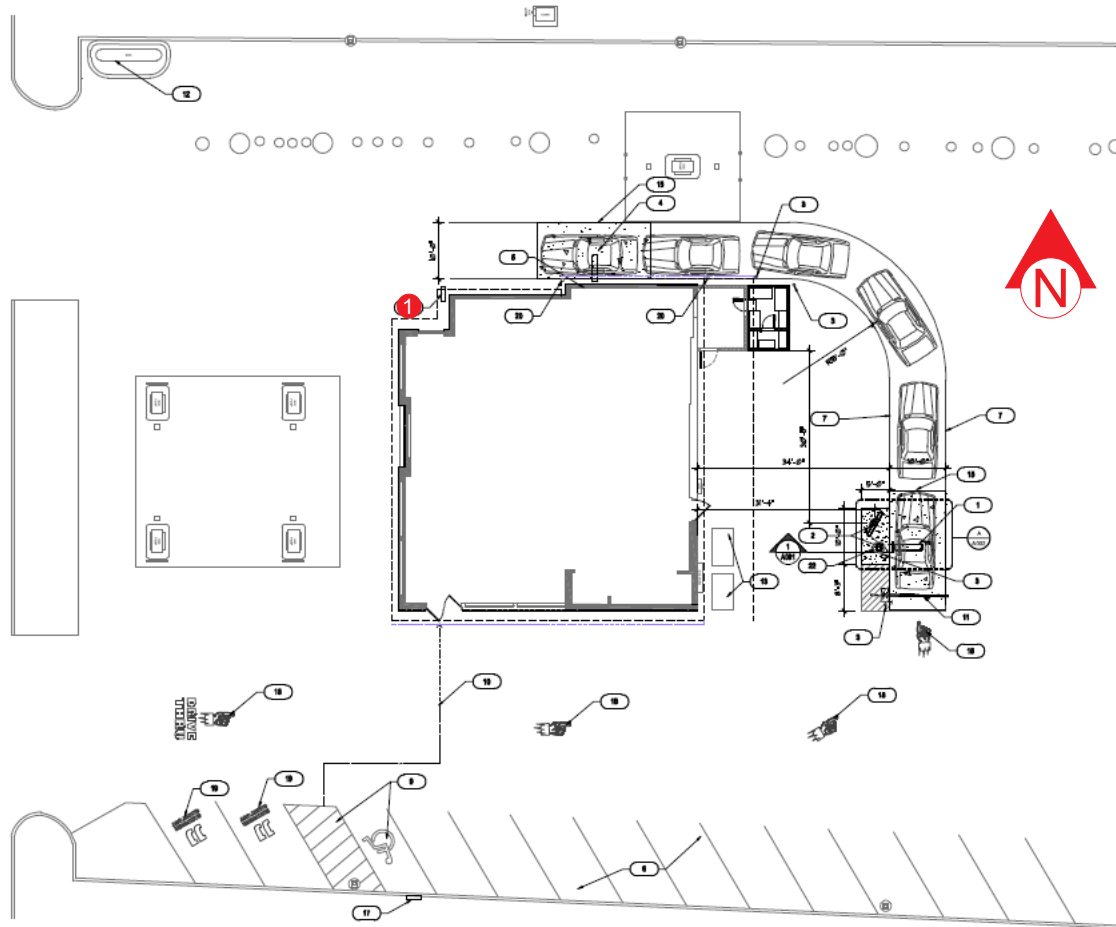
-  Platted Easements
-  Streets
-  Address\_Points

Exhibit 1A



# 1710 Humiston Avenue





JIMMY JOHN'S  
 1710 N HUMISTON AVE  
 WORTHINGTON, MN 56187

PROPOSED SIGNS:

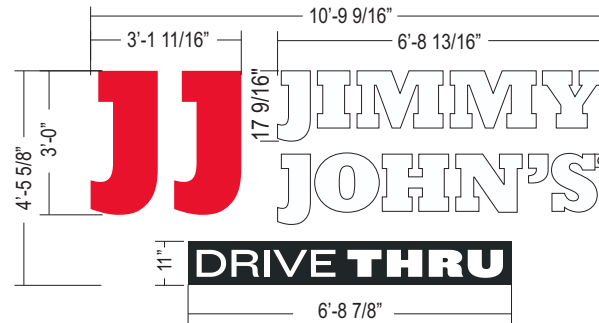
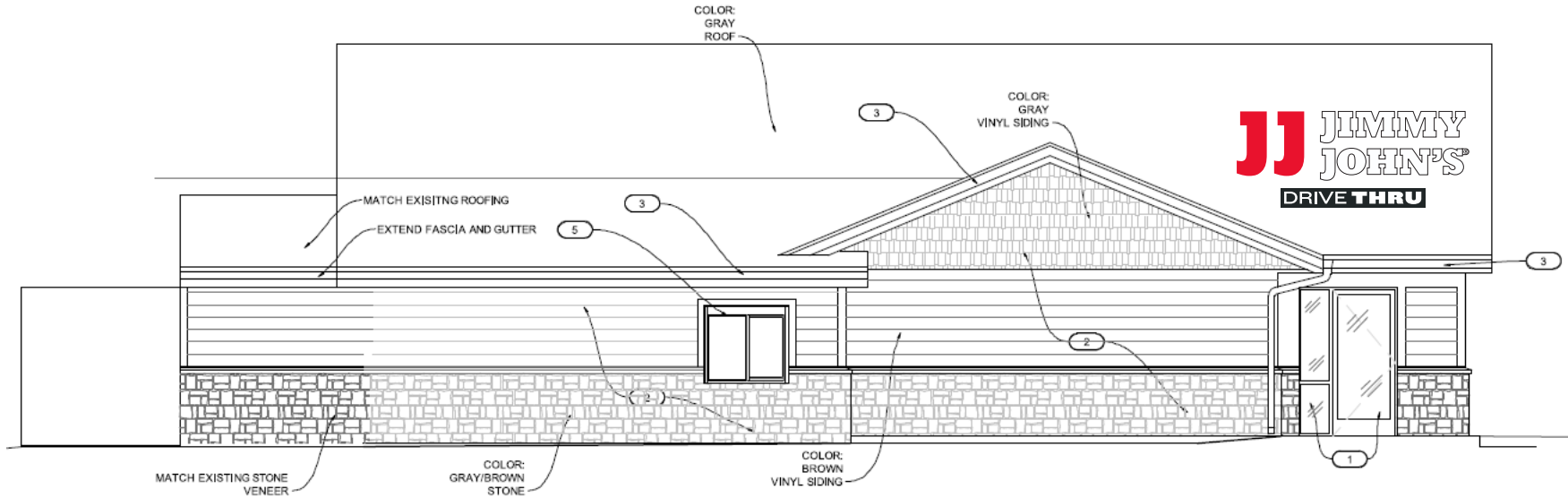
- 1 36" CHANNEL LETTER SET

Exhibit 1C

1

**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

CHANNEL LETTERS SHOWN ON EXISTING WALL COLOR OR AS NOTED ON ELEVATIONS.  
CUSTOMER TO VERIFY WALL COLOR PRIOR TO PRODUCTION



CHANNEL LETTER SET DETAIL  
SCALE: 1/4" = 1'-0"

Exhibit 1C

**TECHNICAL SURVEY REQUIRED**



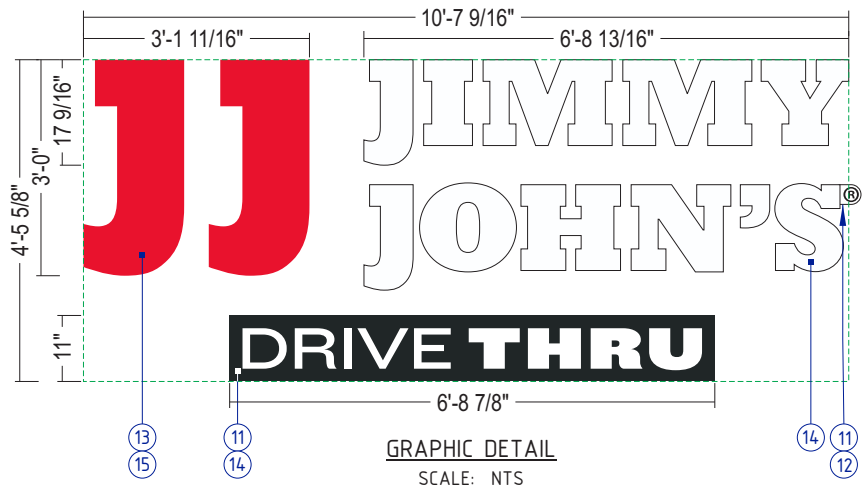
700 21st St SW  
Watertown, SD 57201  
Tel: 800.843.9888  
www.personatriangle.com

Customer:  
**JIMMY JOHN'S**  
Location:  
**WORTHINGTON, MN**  
File Name:  
**530571 - R1 - WORTHINGTON, MN**

Project No.:  
**530571**  
Request No.:  
**88017**  
Prepared By:  
**TJ/CM**  
Date:  
**03/20/26**  
Revision:  
**1**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.  
  
This is an original document created by Persona Signs, LLC provided specifically to the client for the client's personal use. This document should not be shared, reproduced, disclosed or otherwise used without written permission from Persona Signs, LLC.

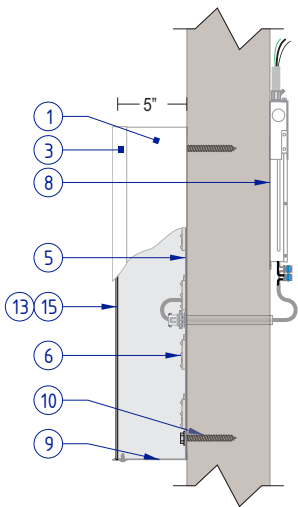
Customer Approval (Please Initial):  
  
Approval Date:



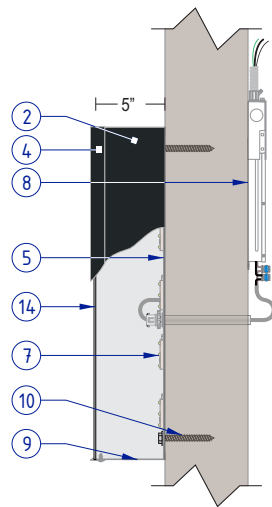
JIMMY JOHN'S REMOTE LINEAR CHANNEL LETTER WITH DT SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" X 5" PREFINISHED WHITE ALUMINUM RETURNS
2	.040" X 5" PREFINISHED BLACK ALUMINUM RETURNS
3	1" WHITE TRIM CAP
4	1" BLACK TRIM CAP
5	.063" PREFINISHED WHITE ALUMINUM BACKS UP TO 36"; OVER 36" TO USE .090" ALUMINUM
6	GE RED LED'S AS REQUIRED OR EQUIVALENT
7	GE 7100K WHITE LED'S AS REQUIRED OR EQUIVALENT
8	REMOTE POWER SUPPLIES AS REQUIRED
9	DRAIN HOLES AS REQUIRED
10	NON-CORROSIVE MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
11	CLEAR POLYCARBONATE TAB (REGISTRATION Ⓞ)
12	3M 3630-22 BLACK TRANSLUCENT FILM (1ST SURFACE)
13	3/16" 2447 WHITE ACRYLIC FACE
14	3/16" 7328 WHITE ACRYLIC FACE
15	3M 3630-83 REGAL RED TRANSLUCENT FILM (1ST SURFACE)

**NOTES:**

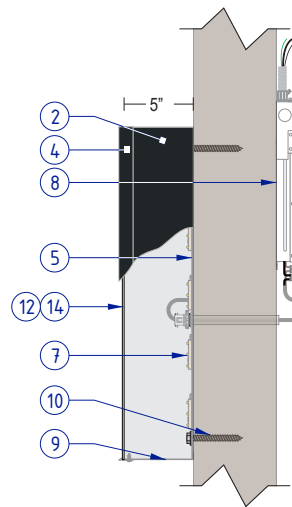
- DRIVE THRU FACES TO BE .150" 7328 WHITE POLYCARBONATE WHEN LENGTH IS 7'-11" OR GREATER
- CHANNEL LETTER INTERIORS TO BE WHITE
- U.L. LISTED
- BOXED SIGN AREA: 47.50 SQ FT



**LOGO PROFILE**  
NOT TO SCALE



**LETTER PROFILE**  
NOT TO SCALE



**DRIVE THRU PROFILE**  
NOT TO SCALE







**NIGHTTIME ILLUMINATION**  
SCALE: NTS

**Exhibit 1C**

# 921 Diagonal Road

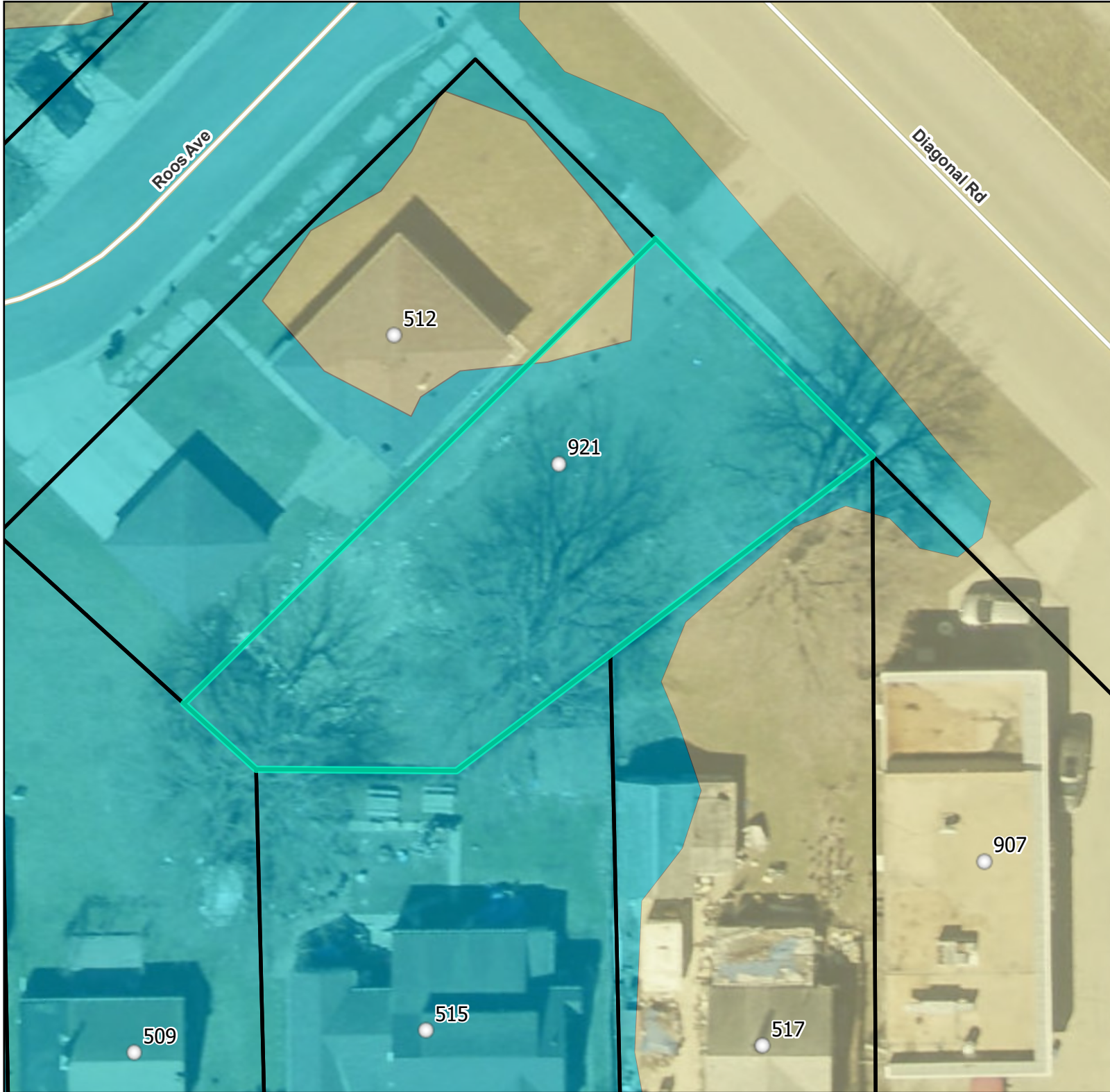


## Legend

-  City\_Limits
-  parcels
-  Streets
-  Address\_Points




# 921 Diagonal Road Flood Map





## Legend

 City\_Limits  
 parcels


### Flood Hazard Zones


 1% Annual Chance Flood Hazard

 1% Annual Chance Flood Hazard

 1% Annual Chance Flood Hazard

 Regulatory Floodway

 0.2% Annual Chance Flood Hazard

 Area of Minimal Hazard

 Streets

 Address\_Points

Exhibit 2B



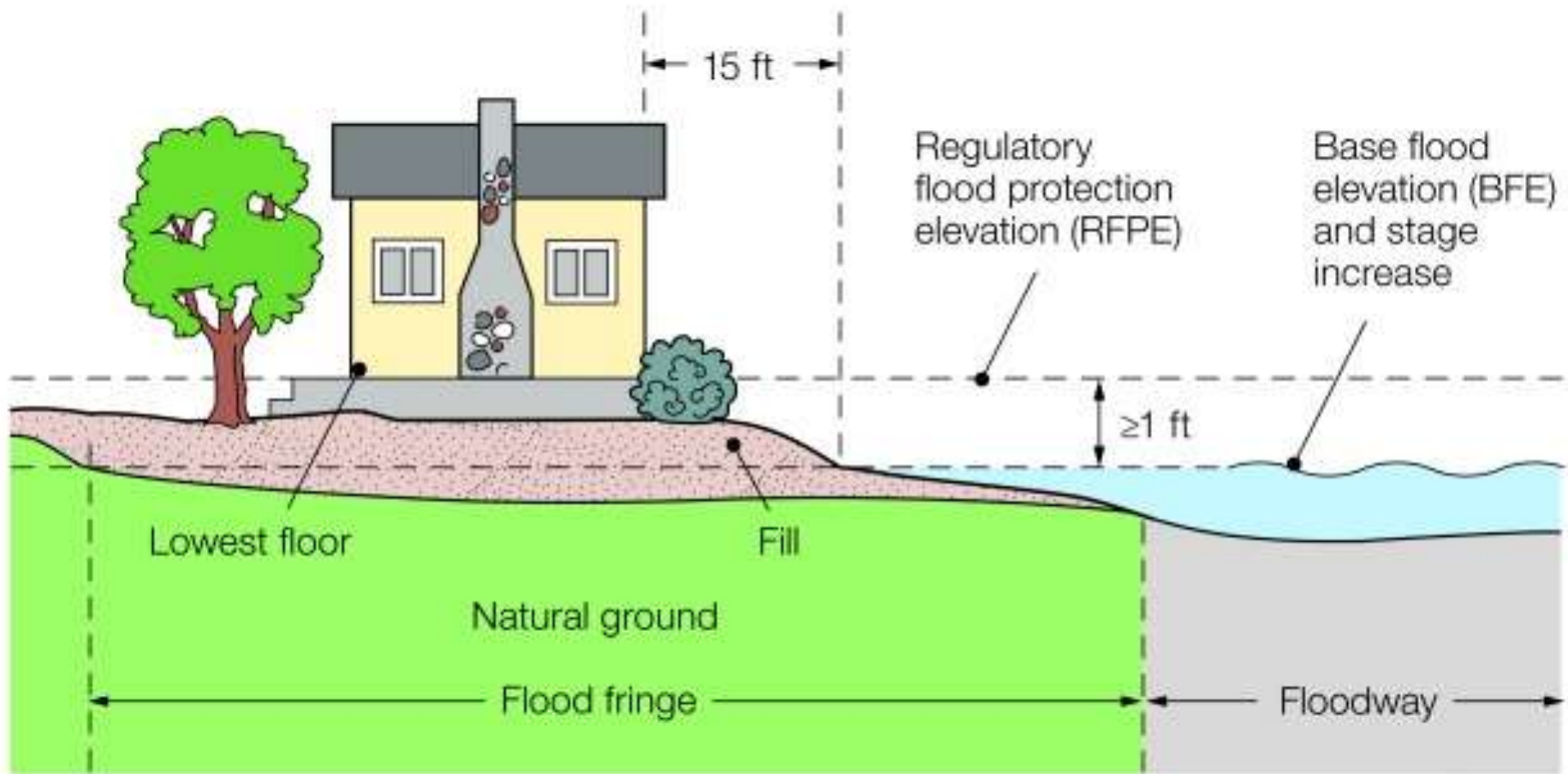


Exhibit 2C

921 Diagonal Road Vacant Lot



Exhibit 2D

# 921 Diagonal Road Vacant Lot



# Airport Zoning



## Legend

 City Limits


 parcels


**Airport Zoning**

 Safety Zone A

 Approach Zone

 Safety Zone B

 Conical Zone

 Horizontal Zone

 Primary Zone

 Transitional Zone

 Streets

Exhibit 3A



# Industrial Wastewater Treatment Plant



## Legend

-  City\_Limits
-  parcels
-  Streets



# Industrial Wastewater Treatment Plant

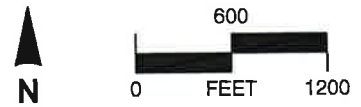
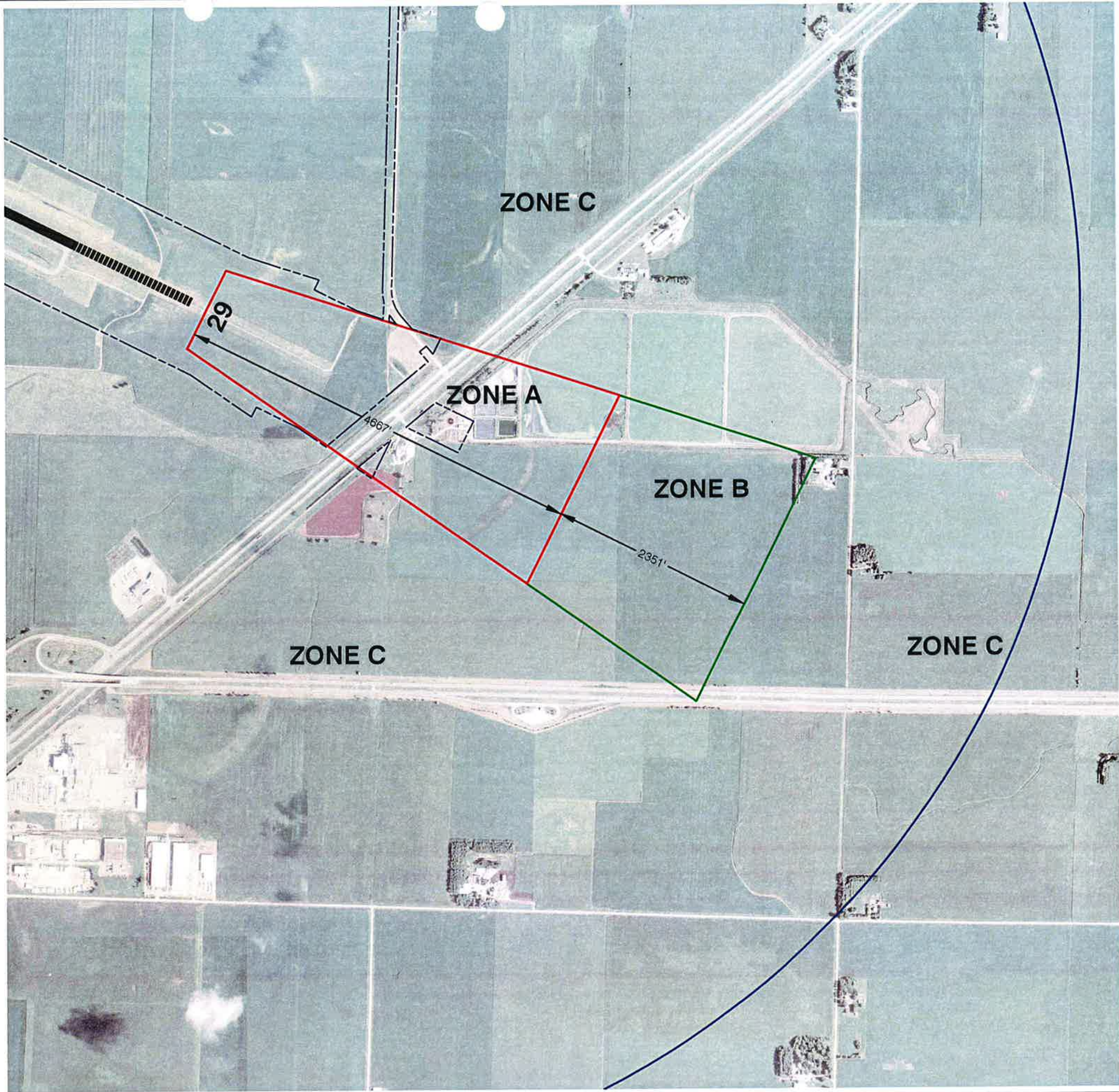


## Legend

-  City\_Limits
-  parcels
-  Streets
-  Address\_Points







**Mead & Hunt**

Mead & Hunt, Inc.  
7900 West 78th Street  
Suite 370  
Minneapolis, MN 55439  
Phone: 952-941-5619  
www.meadhunt.com

*Worthington*

**Safety Zone A.** All land in that portion of the approach zones of runway 11/29 as defined in Section Five, Subdivision 1 hereof, which extends outward from the end of the primary surface a distance equal to two-thirds of the planned length of the runway. These distances shall be: 4,667 feet for runway 11/29.

**Safety Zone B.** All that land in that portion of the approach zones of runway 11/29 as defined in Section Five, Subdivision 1, which extends outward from Safety Zone A, a distance equal to one-third of the planned length of the runway. This distance shall be: 2,333 feet for runway 11/29.

**Safety Zone C.** All that land which is enclosed within the perimeter of the horizontal zone as defined in Section Five, Subdivision 1 hereof, and which is not included in Zone A or Zone B.

**WORTHINGTON MUNICIPAL AIRPORT  
RUNWAY 29 LAND USE ZONING DETAIL**

1700 AIRPORT ROAD NORTH  
WORTHINGTON, MN 56187

REVISION


MAP NO. 23424-00-11002  
DATE: JULY, 2012  
DESIGNED BY: BM  
DRAWN BY: TE  
CHECKED BY: BP

SHEET CONTENTS

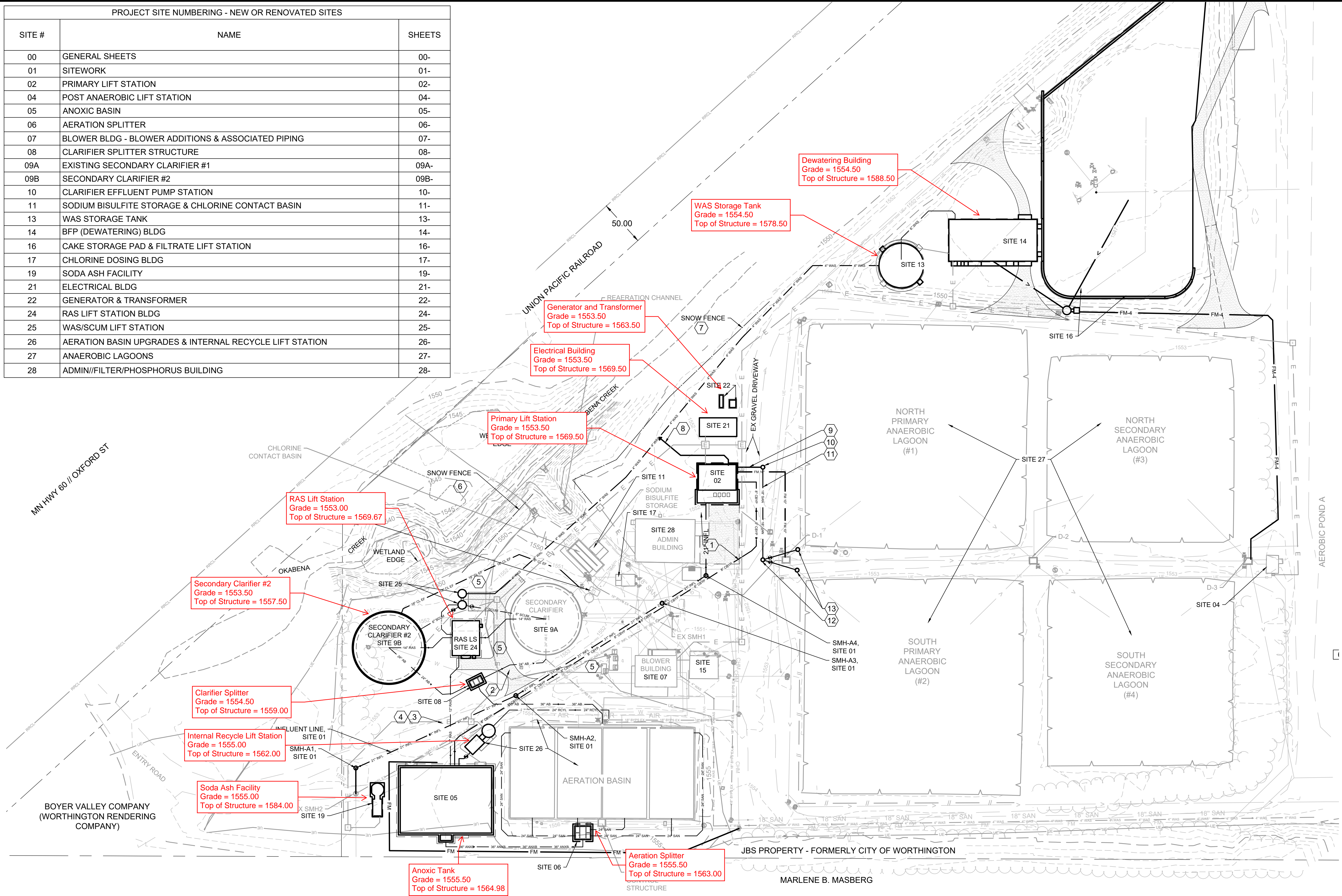
Exhibit 3C

Reason for Variance:

The Worthington Industrial Wastewater Treatment Facility was originally constructed in 1964. Since then, several improvements projects have been constructed which have included the construction of numerous above grade structures.

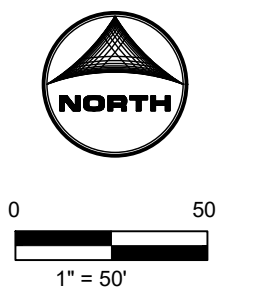
The facility was issued a new NPDES permit on June 30, 2023 which included more stringent effluent limits. These limits require upgrades to the treatment plant, including several above grade structures. As this facility lies in Zone A for the Worthington Municipal airport, a variance is required to construct additional above-grade structures on the site.

PROJECT SITE NUMBERING - NEW OR RENOVATED SITES		
SITE #	NAME	SHEETS
00	GENERAL SHEETS	00-
01	SITWORK	01-
02	PRIMARY LIFT STATION	02-
04	POST ANAEROBIC LIFT STATION	04-
05	ANOXIC BASIN	05-
06	AERATION SPLITTER	06-
07	BLOWER BLDG - BLOWER ADDITIONS & ASSOCIATED PIPING	07-
08	CLARIFIER SPLITTER STRUCTURE	08-
09A	EXISTING SECONDARY CLARIFIER #1	09A-
09B	SECONDARY CLARIFIER #2	09B-
10	CLARIFIER EFFLUENT PUMP STATION	10-
11	SODIUM BISULFITE STORAGE & CHLORINE CONTACT BASIN	11-
13	WAS STORAGE TANK	13-
14	BFP (DEWATERING) BLDG	14-
16	CAKE STORAGE PAD & FILTRATE LIFT STATION	16-
17	CHLORINE DOSING BLDG	17-
19	SODA ASH FACILITY	19-
21	ELECTRICAL BLDG	21-
22	GENERATOR & TRANSFORMER	22-
24	RAS LIFT STATION BLDG	24-
25	WAS/SCUM LIFT STATION	25-
26	AERATION BASIN UPGRADES & INTERNAL RECYCLE LIFT STATION	26-
27	ANAEROBIC LAGOONS	27-
28	ADMIN/FILTER/PHOSPHORUS BUILDING	28-



- GENERAL NOTES:**
- THE LARGER WWTP PROJECT IS DIVIDED INTO SUB-PROJECT BLDG/STRUCTURE SITES AS NOTED ON THIS PLAN AND ON THE PRECEDING PAGE. THE SITE NUMBER WILL COMPOSE THE FIRST TWO DIGITS OF EACH SITE'S RESPECTIVE SHEET NUMBER. FOR EXAMPLE, A SHEET FROM "SITE 01" WILL HAVE A SHEET NUMBERED: 01-CU101. GENERAL SHEET CATEGORIES WHICH APPLY TO THE ENTIRE WWTP WILL HAVE SHEET NUMBERS BEGINNING WITH "00".
  - DEMOLISHED BLDGS OR STRUCTURES ARE NOT SHOWN ON THIS PAGE. SEE SHEET 00-CD101 FOR BLDGS AND STRUCTURES TO BE DEMOLISHED OR REMOVED.
  - THE PROPERTY BOUNDARIES SHOWN ARE APPROXIMATIONS AND DO NOT REPRESENT ANY LAND SURVEY CALCULATIONS OR FIELD LOCATIONS.
  - NEW PROCESS PIPING AND ELECTRICAL DUCT BANKS NOT SHOWN.

- KEYNOTES:**
- 42'x55' GRAVEL PARKING AREA, SEE DETAIL 6/00-CJ501
  - 12'x60' GRAVEL DRIVEWAY, SEE DETAIL 6/00-CJ501
  - EX ROAD SHALL REMAIN IN SERVICE. THE CONTRACTOR SHALL PROVIDE EXCAVATION SHORING INCLUDING SHEET PILE DESIGN AS REQUIRED. SHORING DESIGN CALCULATIONS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MINNESOTA. SHEET PILE SHALL BE COORDINATED WITH UNDERGROUND UTILITIES.
  - PROVIDE CONTINUOUS TRAFFIC BARRIERS ALONG EX ROADS AND GRAVEL DRIVES TO PREVENT VEHICLES FROM DRIVING INTO EXCAVATION. PROVIDE CONCRETE JERSEY BARRIERS OR EQUIVALENT.
  - FIELD VERIFY EX UGE ELEVATIONS AND COORDINATE WITH PIPE CROSSINGS.
  - INSTALL 110 LINEAL FEET OF SNOW FENCE. FIELD VERIFY LOCATION WITH OWNER DIRECTION.
  - INSTALL 320 LINEAL FEET OF SNOW FENCE. FIELD VERIFY LOCATION WITH OWNER DIRECTION.
  - 6" ANAEROBIC SLUDGE BYPASS
  - 8" ANAEROBIC SUCTION
  - CARBON BYPASS MH1, INV=1544.5, SEE SHEET CU4XX
  - 18" ANAEROBIC GRAVITY FEED
  - CARBON BYPASS MH2, INV=1544.5, SEE CU4XX
  - CARBON BYPASS MH, BUILD MH'S OVER EXISTING ANAEROBIC FEED LINES, INV=1545.0, SEE CU4XX.



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DRAWN BY: JJC  
APPROVED: MRS  
JOB DATE: 2025  
JOB NUMBER: 220899.01  
CAD DATE: 3/6/2026 1:03:14 PM  
CAD FILE: J:\2022\220899.01\CAD\Drawings\01-SHEETS-SITE01-CS101.dwg

NO.	DATE	BY	REVISION DESCRIPTION

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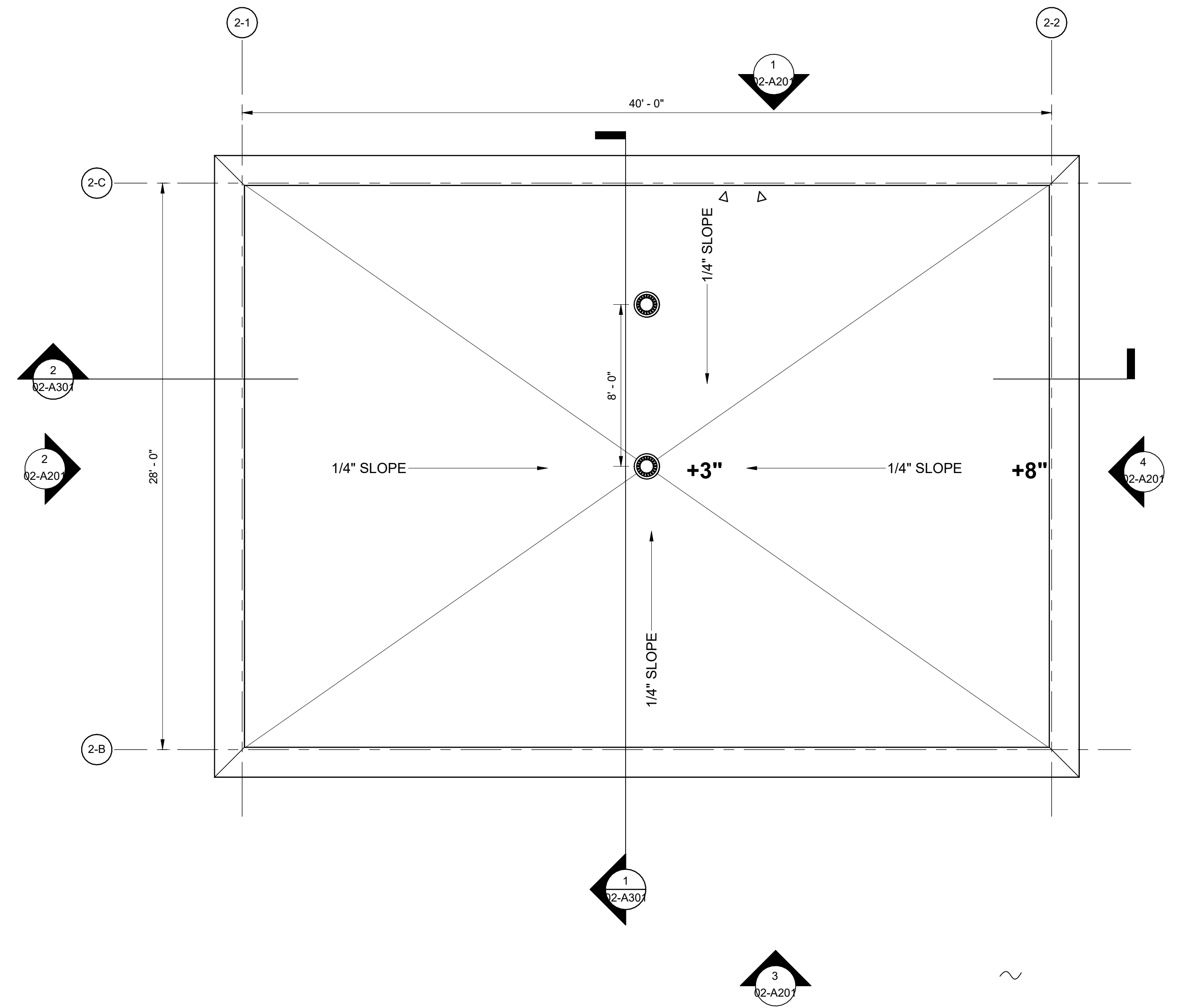
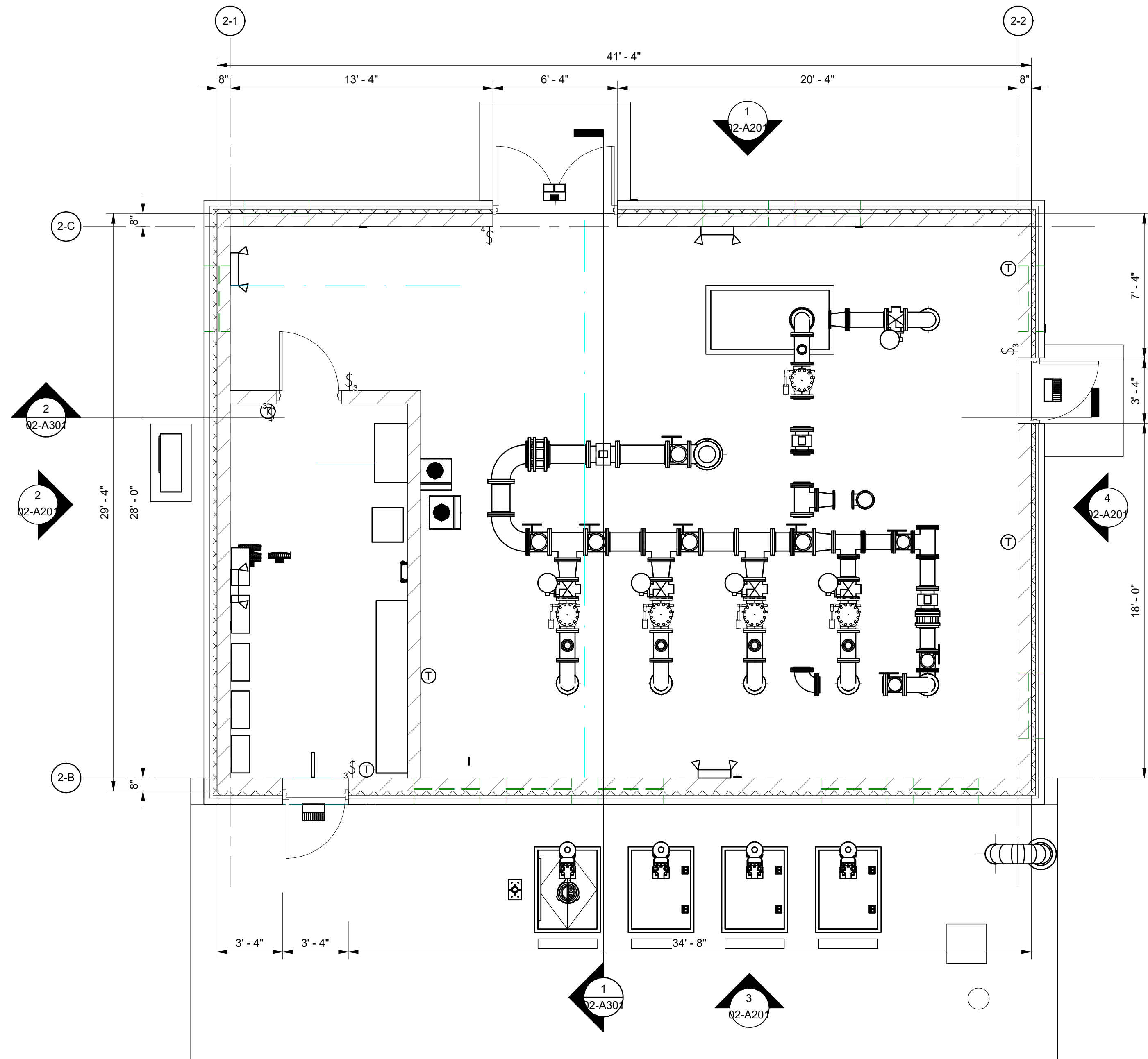
SIGNATURE: \_\_\_\_\_  
DATE: XX/XX/2026      MARK R. STONE      REG. NO. 46316



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WORTHINGTON, MINNESOTA

CIVIL SITE  
PROPOSED SITE PLAN

SHEET NO.  
**01-CS101**



1 02 - FIRST FLOOR  
SCALE: 1/4" = 1'-0"



2 02-ROOF  
SCALE: 1/4" = 1'-0"



NOT FOR  
CONSTRUCTION

DRAWN BY:	ARCH	JOB DATE:	2025
APPROVED:	ARCH	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 12:25:35 PM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

NO	DATE	BY	REVISION DESCRIPTION

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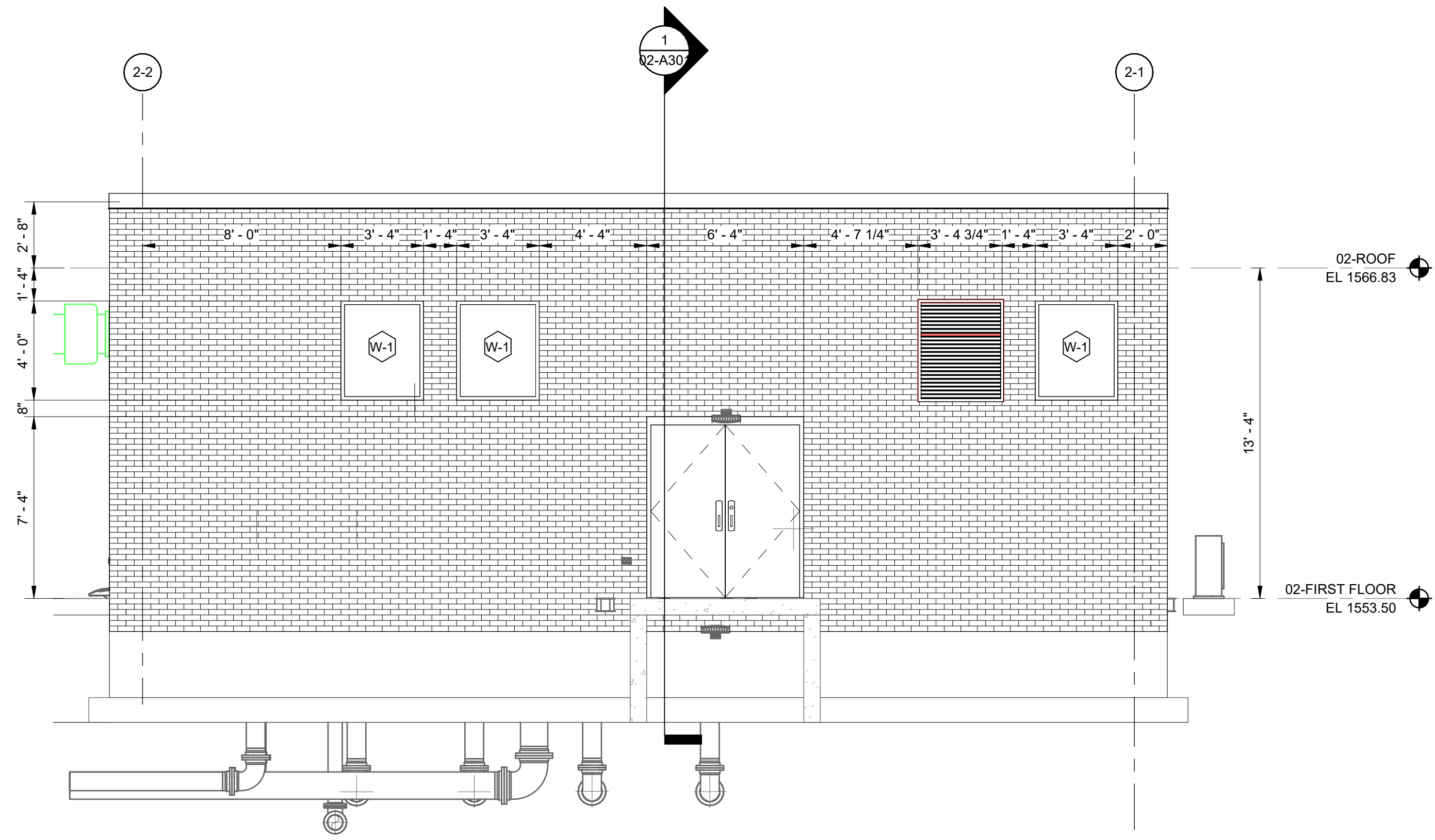
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DATE: 01/20/2026 REG. NO. \_\_\_\_\_ REG NO. \_\_\_\_\_



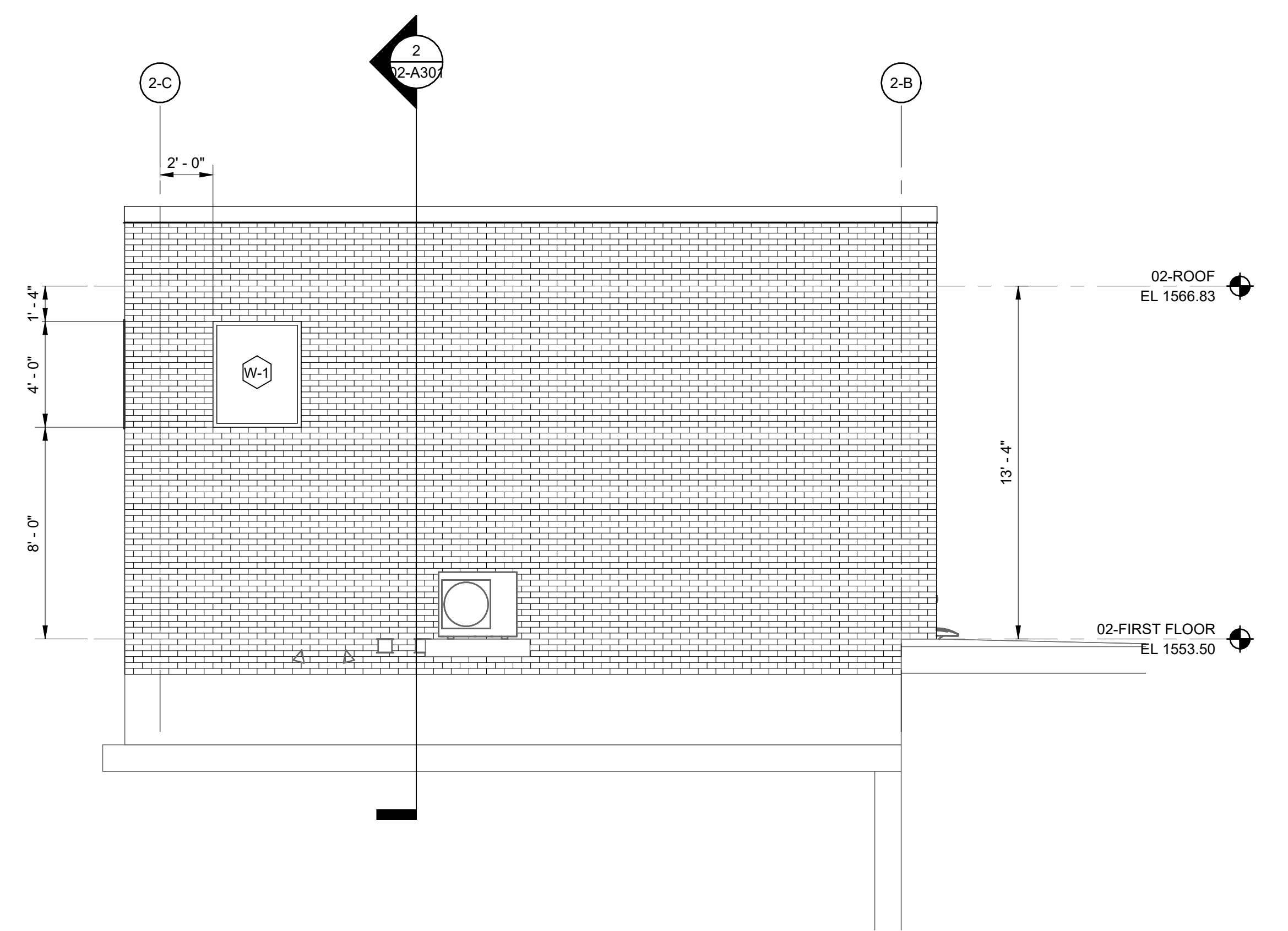
WWTP IMPROVEMENTS  
JBS USA, LLC  
WORTHINGTON, MINNESOTA

PRIMARY LIFT STATION  
ARCHITECTURAL PLAN

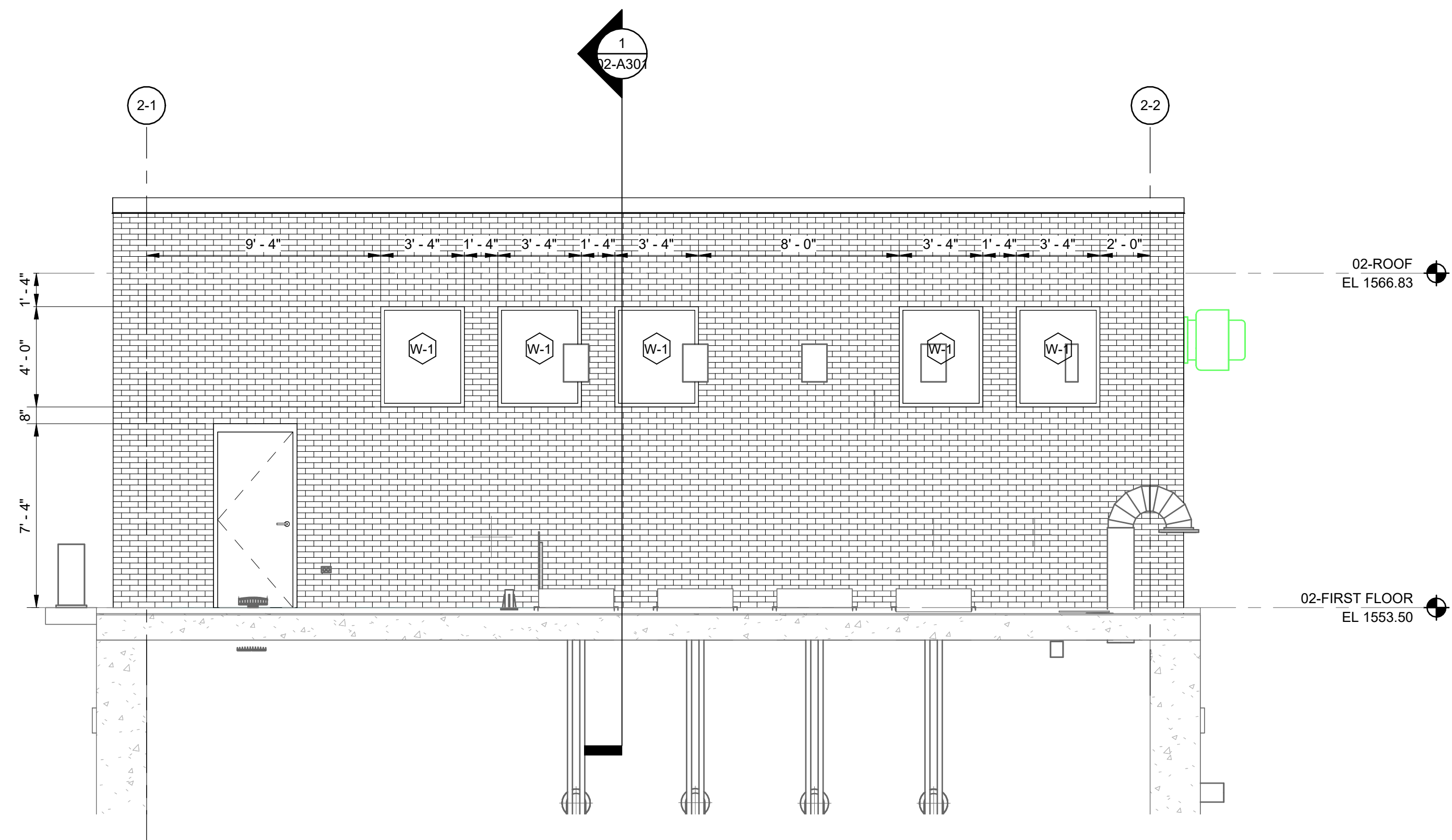
SHEET NO.  
02-A101



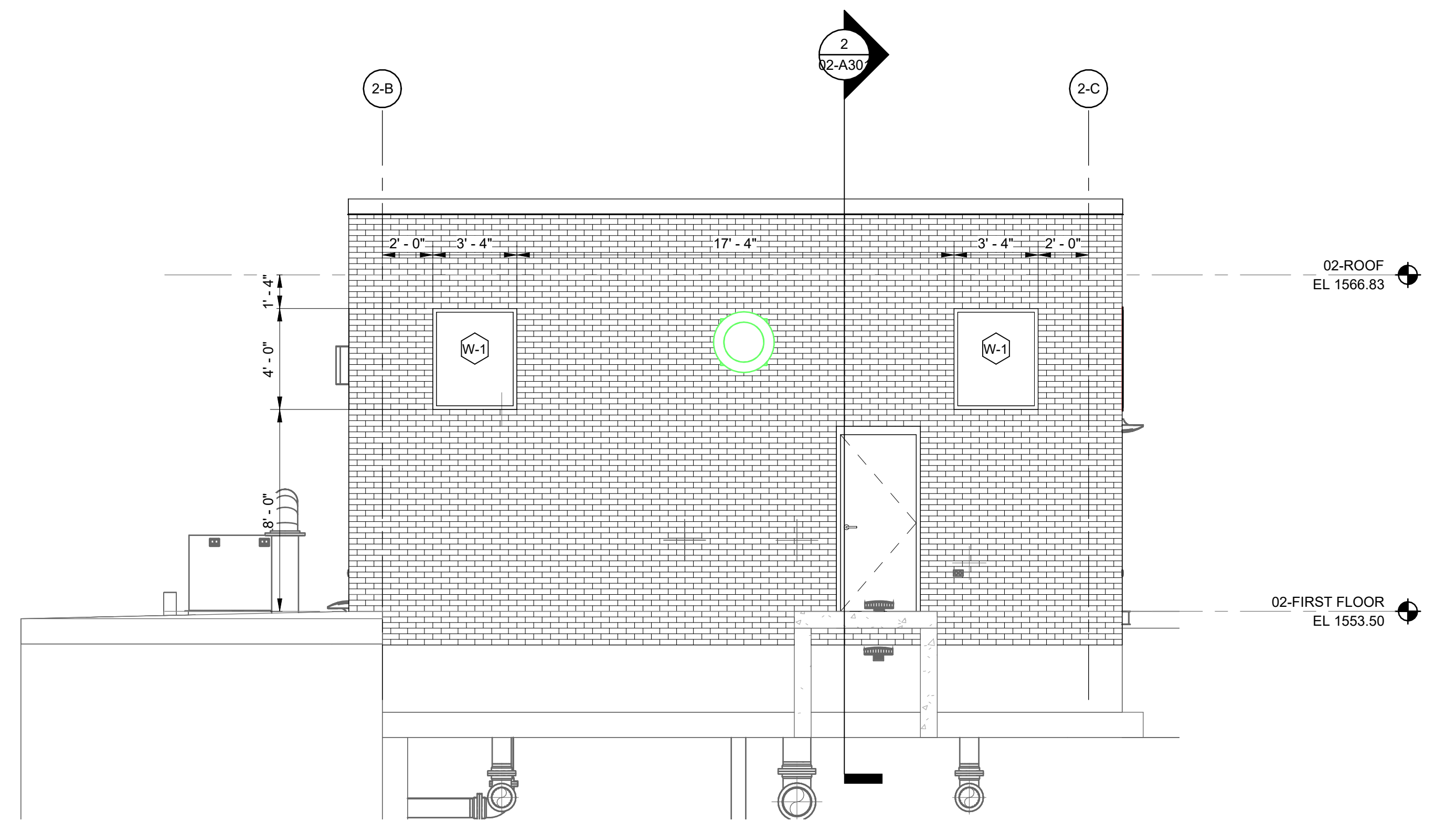
**1** 02 - NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**2** 02 - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



**3** 02 - SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**4** 02 - EAST ELEVATION  
SCALE: 1/4" = 1'-0"

**NOT FOR  
CONSTRUCTION**

DRAWN BY:	ARCH	JOB DATE:	2025
APPROVED:	ARCH	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 12:25:45 PM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

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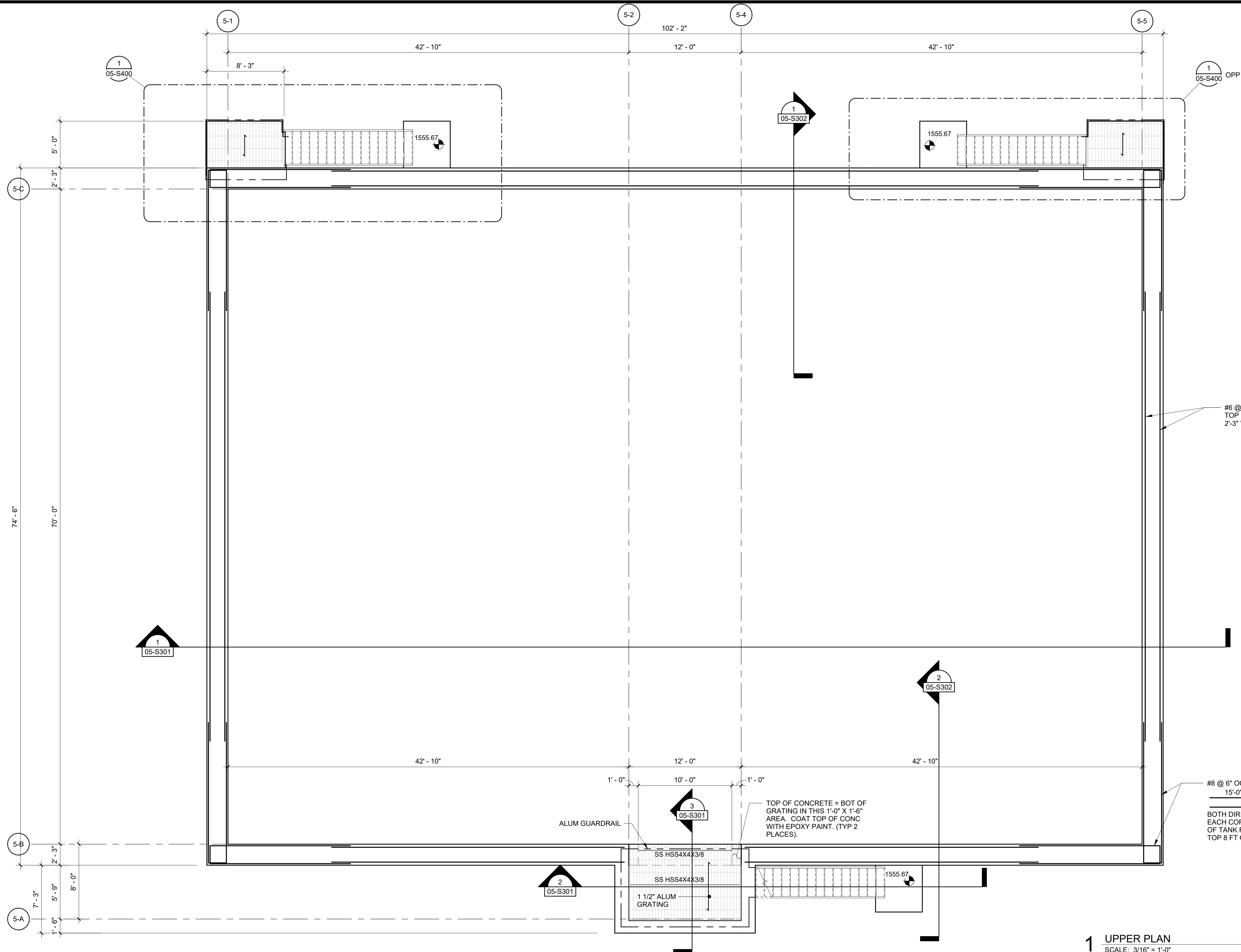
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DATE: 01/20/2026 REG. NO. REG NO. \_\_\_\_\_



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WORTHINGTON, MINNESOTA

PRIMARY LIFT STATION  
ARCHITECTURAL ELEVATIONS

SHEET NO.  
**02-A201**



- FRAMING PLAN NOTES:**
1. SEE SHEET 00-S001 FOR COVER SHEET AND GENERAL NOTES. SEE 00-S5XX SERIES SHEETS FOR TYPICAL STRUCTURAL DETAILS.
  2. TOP OF GRATING EL = 1564.98.
  3. ALL STAIR STRINGERS ARE C12x20.7 STEEL.
  4. ALL FRAMING MEMBERS, CONNECTIONS AND EMBEDDED PLATES AT STAIRS ARE GALVANIZED STEEL UNO.
  5. ALL RAILINGS ARE ALUMINUM.
  6. ALL GRATING IS ALUMINUM, DESIGN LOAD = 100 PSF FOR GRATING SUPPORTED BY C12. USE L2x2x1/4 GRATING SUPPORT ANGLE

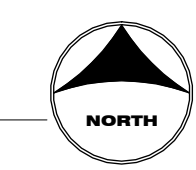
KEYNOTES: #

#6 @ 6" OC EF, 2" CLR TOP 8 FT OF ALL 2'-3" WALLS

#8 @ 6" OC THUS: 15'-0" BOTH DIRECTIONS EACH CORNER OF TANK FOR TOP 8 FT OF WALL

TOP OF CONCRETE = BOT OF GRATING IN THIS 1'-0" X 1'-6" AREA. COAT TOP OF CONC WITH EPOXY PAINT. (TYP 2 PLACES).

1 UPPER PLAN  
SCALE: 3/16" = 1'-0"



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APPROVED:	DLN	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 11:51:43 AM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\Struct Model		

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WORTHINGTON, MINNESOTA

ANOXIC BASIN  
UPPER PLAN

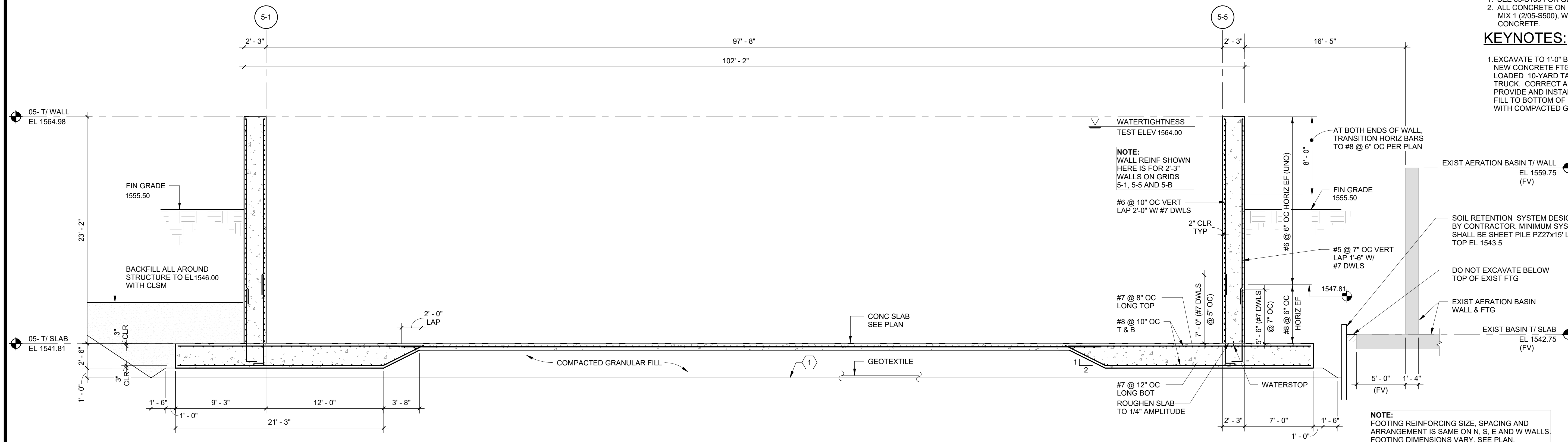
SHEET NO.  
05-S101

**GENERAL NOTES:**

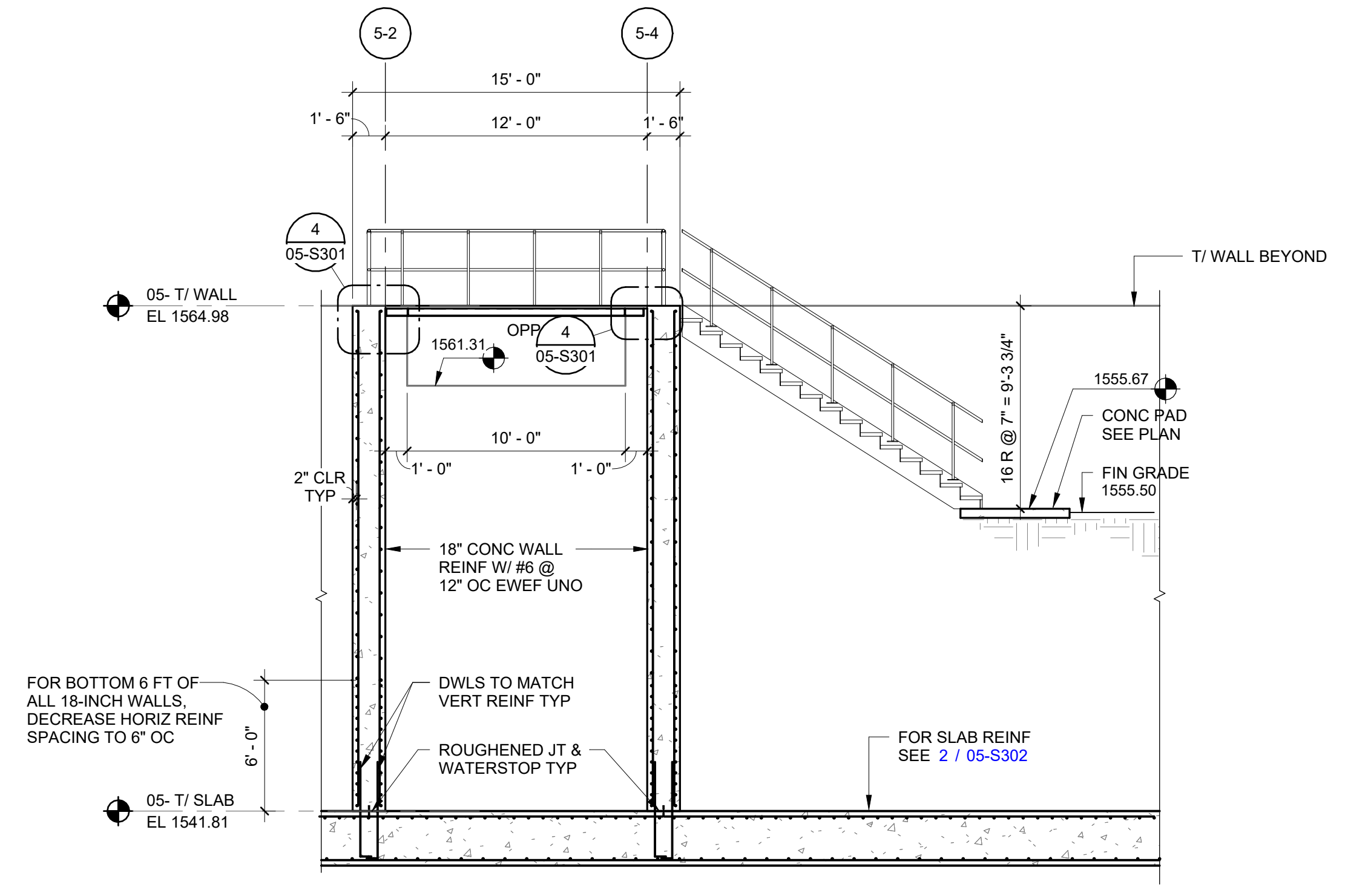
- SEE 05-S100 FOR GENERAL NOTES
- ALL CONCRETE ON THIS SHEET IS MIX 1 (2/05-S500), WATER-CONTAINING CONCRETE.

**KEYNOTES:** #

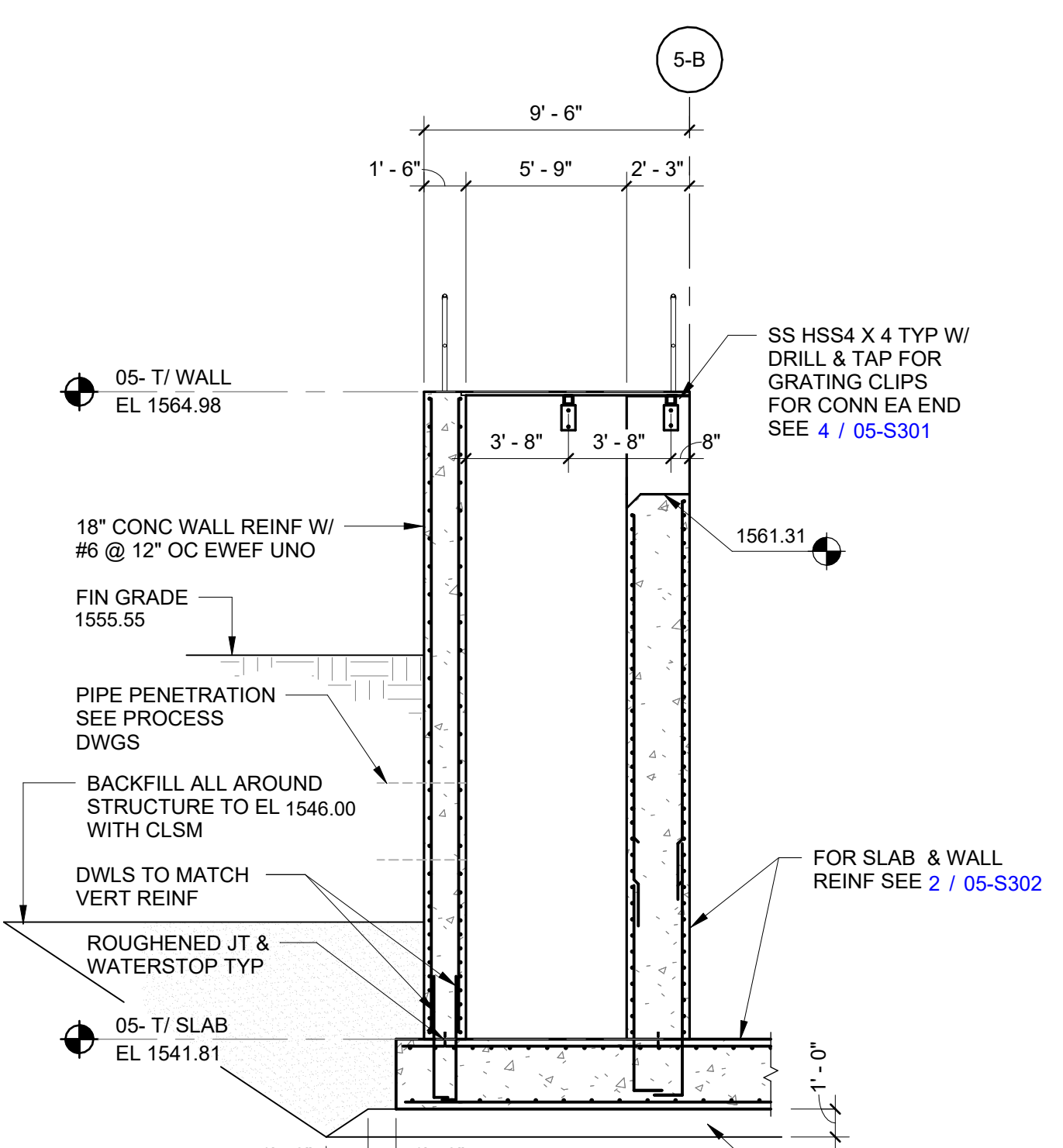
- EXCAVATE TO 1'-0" BELOW BOTTOM OF NEW CONCRETE FTG AND PROOF ROLL WITH LOADED 10-YARD TANDEM AXLE DUMP TRUCK. CORRECT ANY SOFT SPOTS. PROVIDE AND INSTALL GEOTEXTILE. FILL TO BOTTOM OF NEW CONCRETE WITH COMPACTED GRANULAR FILL.



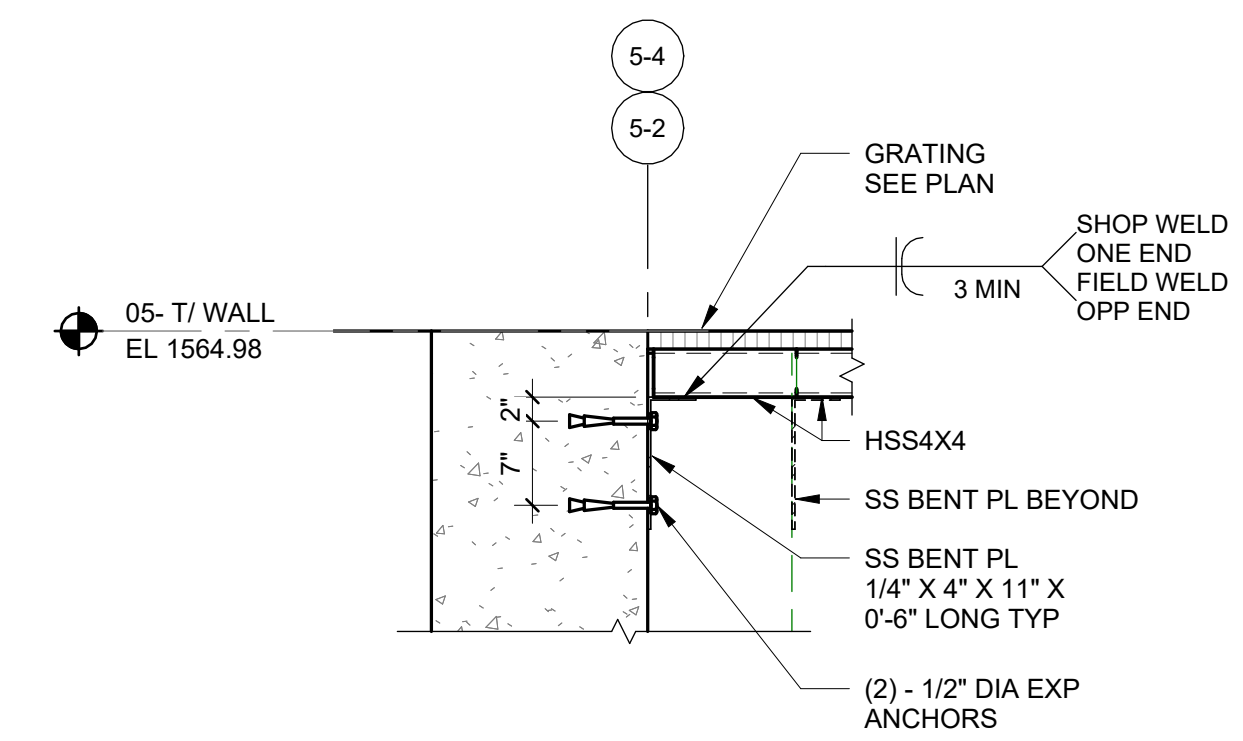
**1 SECTION**  
SCALE: 3/16" = 1'-0"



**2 SECTION**  
SCALE: 3/16" = 1'-0"



**3 SECTION**  
SCALE: 3/16" = 1'-0"



**4 FRAMING DETAIL**  
SCALE: 3/4" = 1'-0"

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APPROVED: DLN	JOB NUMBER: 220899.01
CAD DATE: 3/9/2026 11:51:45 AM	
CAD FILE: J:\2022\220899.01\CAD\Drawings\Revit\Struct Model	

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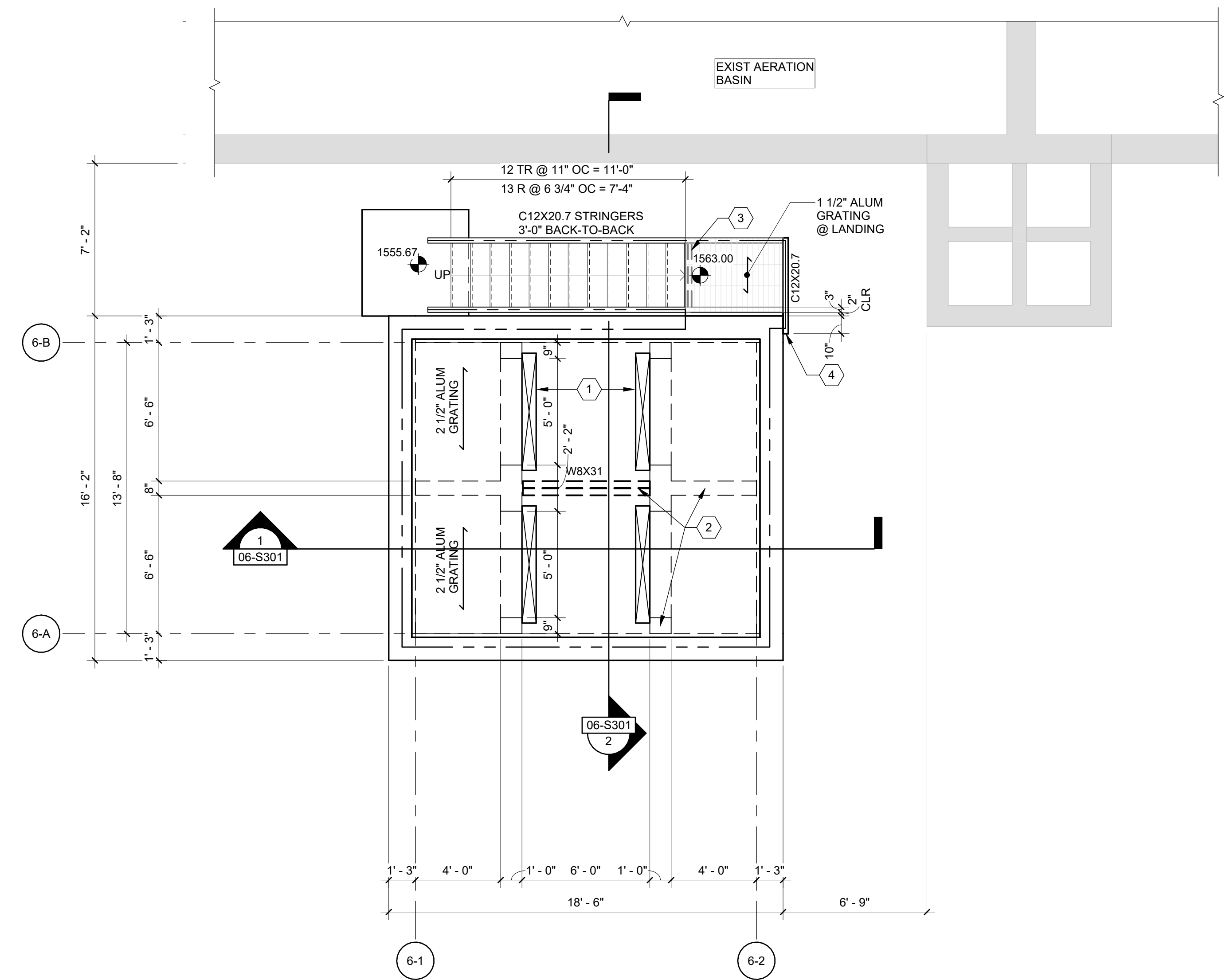
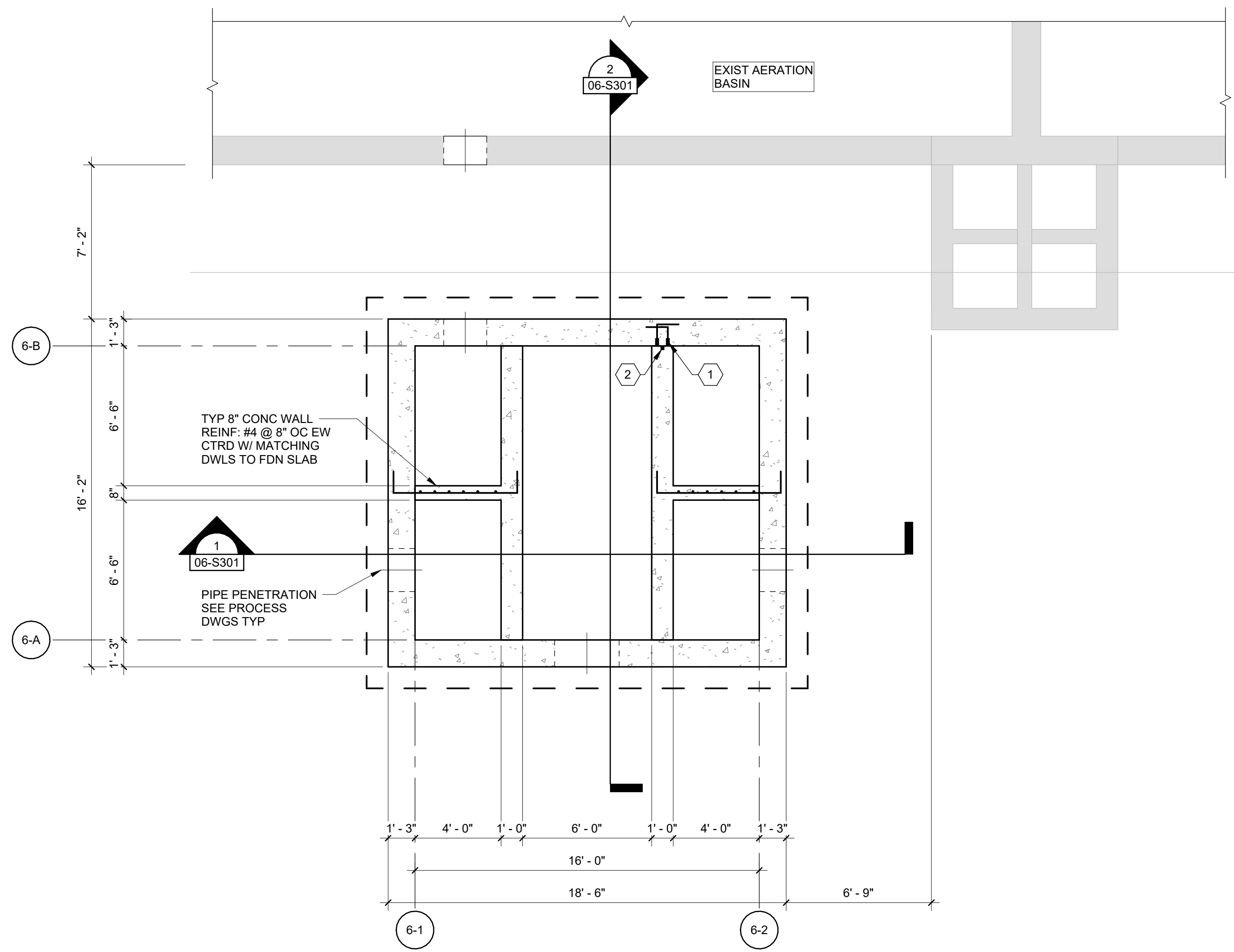
SIGNATURE: DENNIS L. NEUMANN  
DATE: 01/20/2026 REG. NO. 19807



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WORTHINGTON, MINNESOTA

ANOXIC BASIN  
SECTIONS

SHEET NO.  
**05-S301**



**FOUNDATION PLAN NOTES:**

1. SEE SHEET 00-S001 FOR COVER SHEET AND GENERAL NOTES. SEE 00-S5XX SERIES SHEETS FOR TYPICAL STRUCTURAL DETAILS.
2. ALL CONCRETE THIS DRAWING IS MIX 1: SEE 2/00-S500
3. ALL CONCRETE JOINTS ARE TO BE WATERSTOPPED.
4. REFER TO SPECIFICATIONS FOR MORE REQUIREMENTS.
5. VERIFY OPENINGS AND DIMENSIONS WITH D-DWGS AND EQUIPMENT SUPPLIER.
6. ALL FRAMING MEMBERS, EMBEDS, CONC ANCHORS AND FASTENERS SHALL BE STAINLESS STEEL, UNO.

**KEYNOTES:** #

1. THREADED ROD COUPLINGS ARE ACCEPTABLE FOR HORIZ DOWELS WHERE 12" AND 8" WALLS MEET EXTERIOR 15" WALL
2. APPLY ADHESIVE WATERSTOP WHEREVER 12" WALL MEETS 15" EXTERIOR WALL.

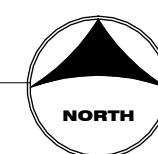
**FRAMING PLAN NOTES:**

1. SEE SHEET 00-S001 FOR COVER SHEET AND GENERAL NOTES. SEE 00-S5XX SERIES SHEETS FOR TYPICAL STRUCTURAL DETAILS.
2. TOP OF GRATING EL = 1563.00

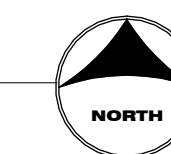
**KEYNOTES:** #

1. CONTRACTOR COORDINATE EXACT SIZE/LOCATION OF GRATING OPENINGS TO ACCOMMODATE SLIDE GATES
2. TOP OF CONCRETE = TOP OF W8 = UNDERSIDE OF GRATING COAT TOP OF CONCRETE WITH EPOXY PAINT
3. C3X11.5 HORIZ UNDER GRATING AND DOUBLE ANGLE KNEE BRACE TO EMBED PL IN 15" WALL - SIM TO DETAILS ON 05-S400
4. C12 & KNEE BRACE TO EMBED PL IN 15" WALL - SIM TO DETAIL 3 / 05-S400

1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



2 UPPER PLAN  
SCALE: 1/4" = 1'-0"



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APPROVED:	DLN	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 11:51:46 AM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\Struct Model		

NO	DATE	BY	REVISION DESCRIPTION

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DATE: 01/20/2026 DENNIS L. NEUMANN REG. NO. 19807



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

AERATION SPLITTER  
FOUNDATION AND UPPER PLANS

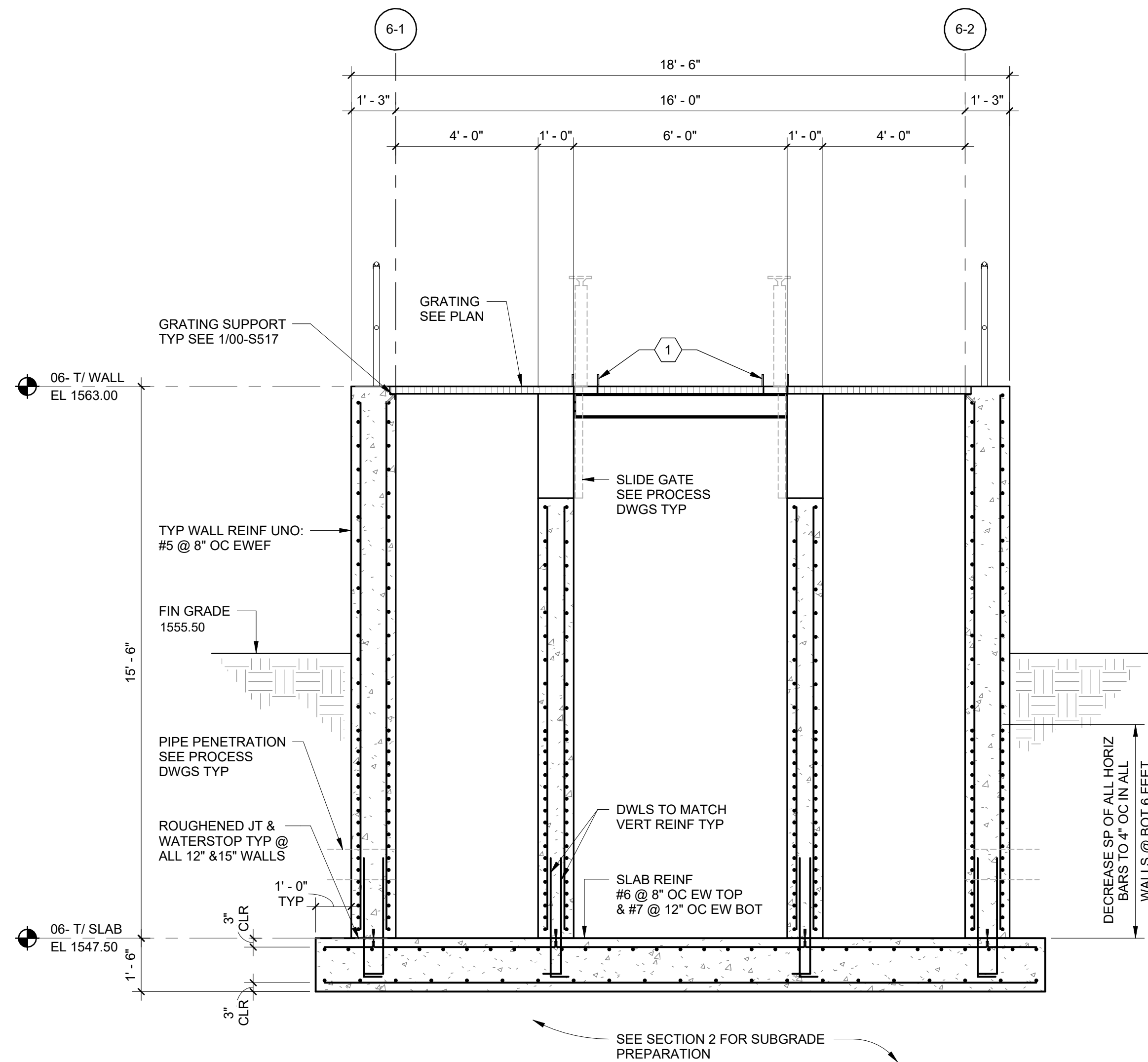
SHEET NO.  
06-S101

**GENERAL NOTES:**

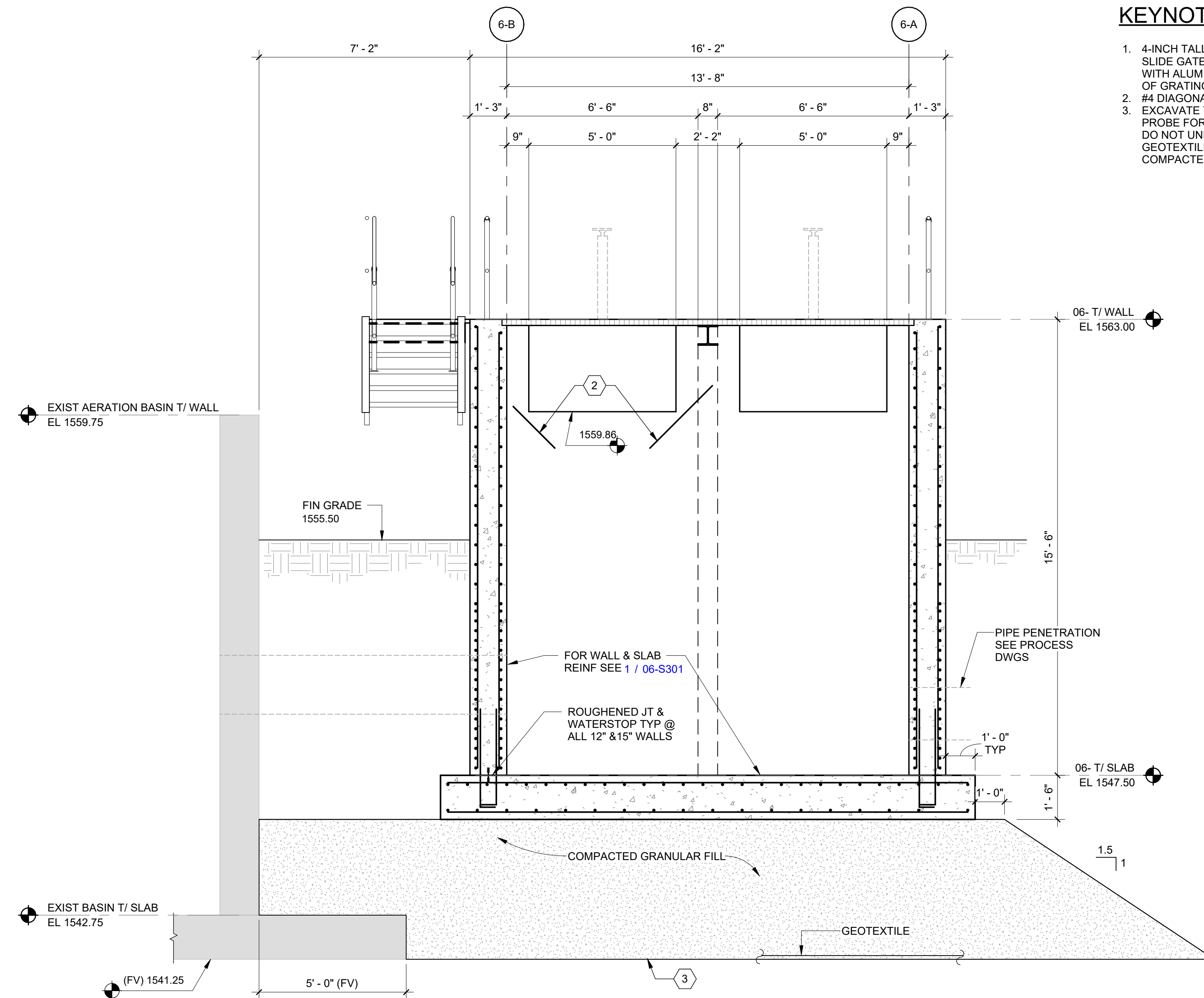
1. SEE 06-S101 FOR GENERAL NOTES
2. ALL CONCRETE ON THIS SHEET IS MIX 1 (2/05-S500), WATER-CONTAINING CONCRETE.

**KEYNOTES:** #

1. 4-INCH TALL TOE BOARD ALL AROUND EACH SLIDE GATE. FABRICATE TOE BOARD INTEGRALLY WITH ALUMINUM GRATING. TOE BOARD AND EDGE OF GRATING SHALL BE 2" CLEAR FROM GATE.
2. #4 DIAGONAL BARS EF AT ALL REINFRANT CORNERS
3. EXCAVATE TO BOTTOM OF EXISTING AERATION BASIN AND PROBE FOR SOFT SPOTS. CORRECT ANY SOFT SPOTS. DO NOT UNDERMINE EXISTING FOOTING. THEN INSTALL GEOTEXTILE AND FILL TO UNDERSIDE OF NEW SLAB WITH COMPACTED GRANULAR FILL.



**1 SECTION**  
SCALE: 3/8" = 1'-0"



**2 SECTION**  
SCALE: 3/8" = 1'-0"

90% REVIEW SET  
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CONSTRUCTION

DRAWN BY:	MLM	JOB DATE:	2025
APPROVED:	DLN	JOB NUMBER:	220899.01
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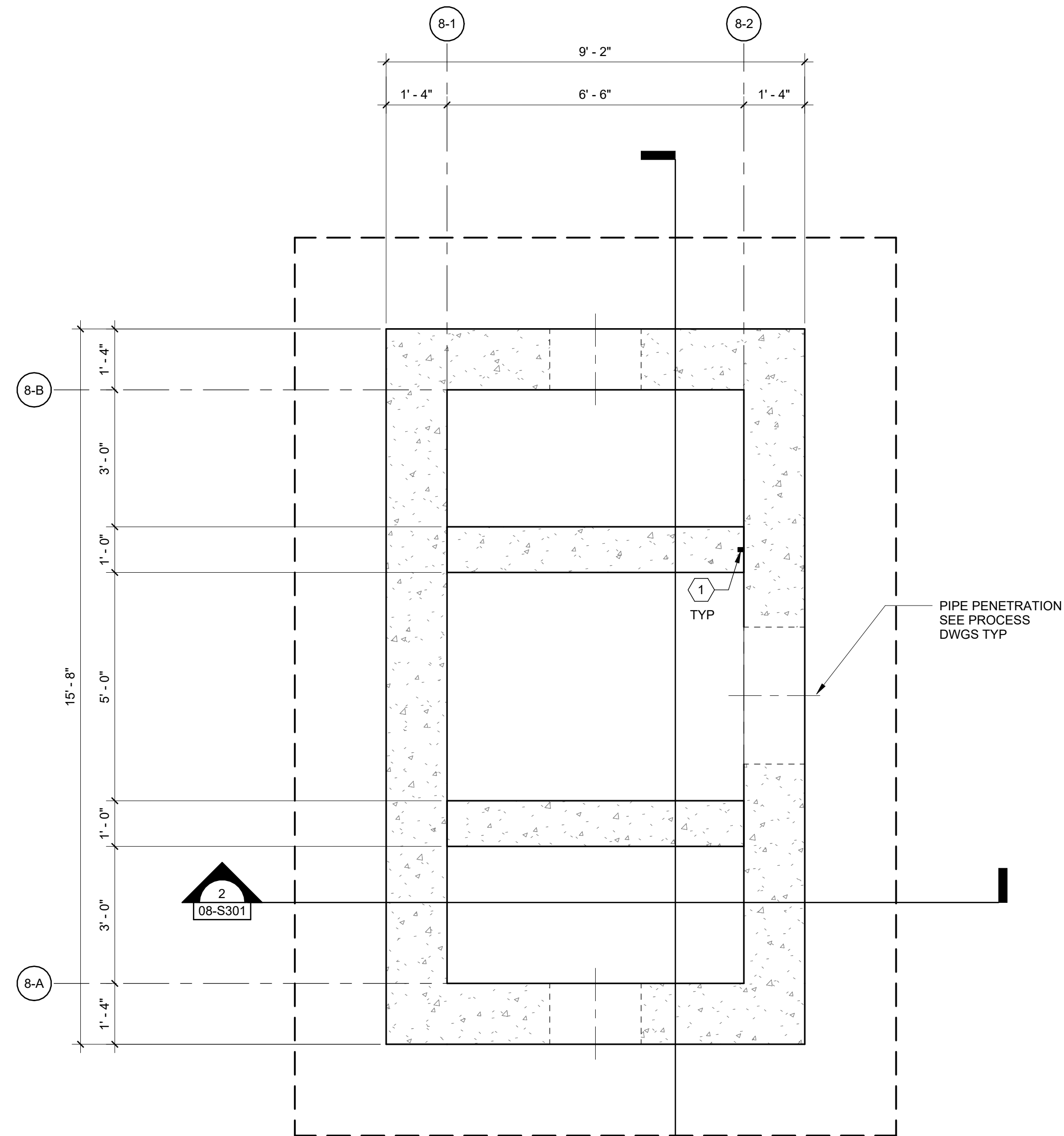
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DATE: 01/20/2026 DENNIS L. NEUMANN REG. NO. 19807



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WORTHINGTON, MINNESOTA

AERATION SPLITTER  
SECTIONS

SHEET NO.  
**06-S301**



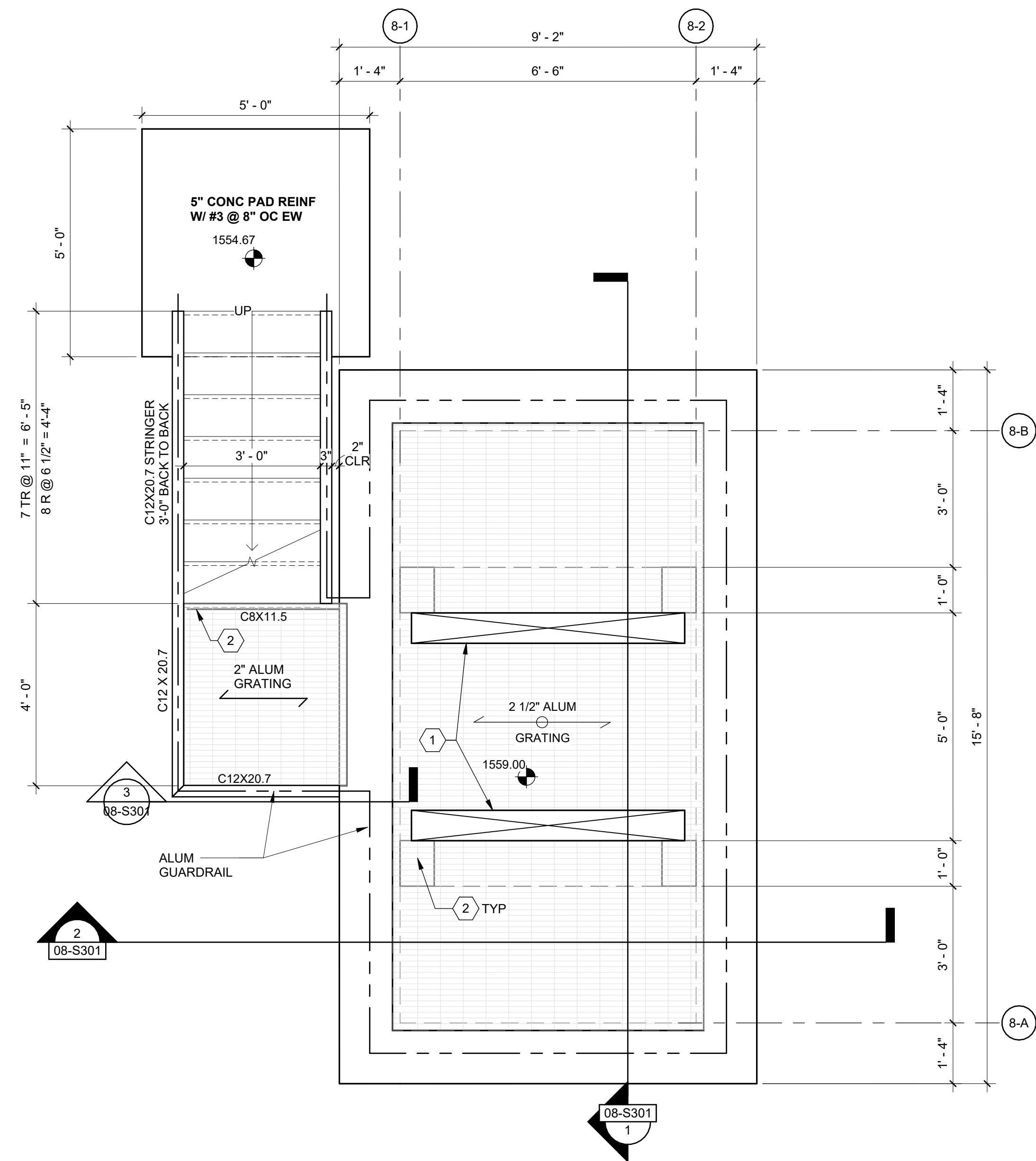
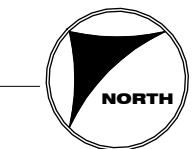
**FOUNDATION PLAN NOTES:**

- SEE 00-S001 FOR COVER SHEET AND GENERAL NOTES. SEE 00-S5XX SERIES SHEETS FOR TYPICAL STRUCTURAL DETAILS.
- ALL CONCRETE THIS DRAWING IS MIX 1: SEE 2/00-S500
- ALL CONCRETE JOINTS ARE TO BE WATERSTOPPED.
- REFER TO SPECIFICATIONS FOR MORE REQUIREMENTS.
- VERIFY OPENINGS AND DIMENSIONS WITH D-DWGS AND EQUIPMENT SUPPLIER.
- ALL FRAMING MEMBERS, EMBEDS, CONC ANCHORS AND FASTENERS SHALL BE STAINLESS STEEL, UNO.

**KEYNOTES:** #

- APPLY ADHESIVE WATERSTOP WHEREVER 12" WALL MEETS 16" EXTERIOR WALL

**1 CLARIFIER SPLITTER FOUNDATION PLAN**  
SCALE: 1/2" = 1'-0"



**FRAMING PLAN NOTES:**

- SEE 00-S001 FOR COVER SHEET AND GENERAL NOTES. SEE 00-S500 SERIES SHEETS FOR TYPICAL STRUCTURAL DETAILS.
- TOP OF GRATING EL = 1559.00

**KEYNOTES:** #

- CONTRACTOR COORDINATE EXACT SIZE / LOCATION OF GRATING OPENINGS TO ACCOMMODATE SLIDE GATES.
- TOP OF CONCRETE - UNDERSIDE OF GRATING. COAT TOP OF CONCRETE WITH EPOXY PAINT.
- C8 X 11.5 HORIZ UNDER GRATING AND DOUBLE ANGLE KNEE BRACE TO EMBED PL IN 16" WALL. SEE 3 / 08-S301

**2 CLARIFIER SPLITTER FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



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DRAWN BY: MLM	JOB DATE: 2025
APPROVED: DLN	JOB NUMBER: 220899.01
CAD DATE: 3/9/2026 11:58:46 AM	
CAD FILE: J:\2022\220899.01\CAD\Drawings\Revit\MEP Model	

NO	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: DENNIS L. NEUMANN  
DATE: 01/20/2026 REG. NO. 19807



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

CLARIFIER SPLITTER  
FOUNDATION AND FRAMING PLANS

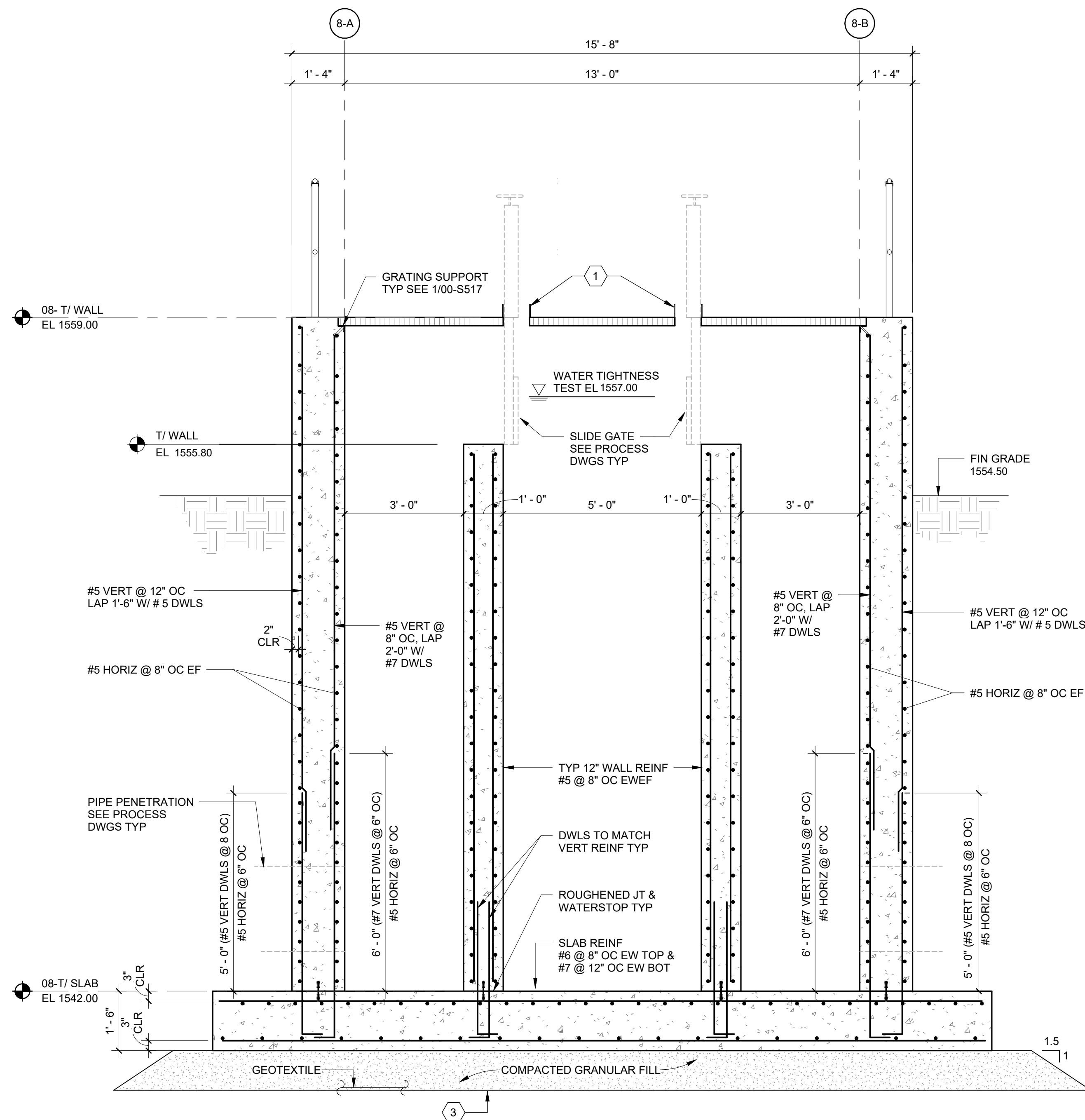
SHEET NO.  
**08-S101**

**GENERAL NOTES:**

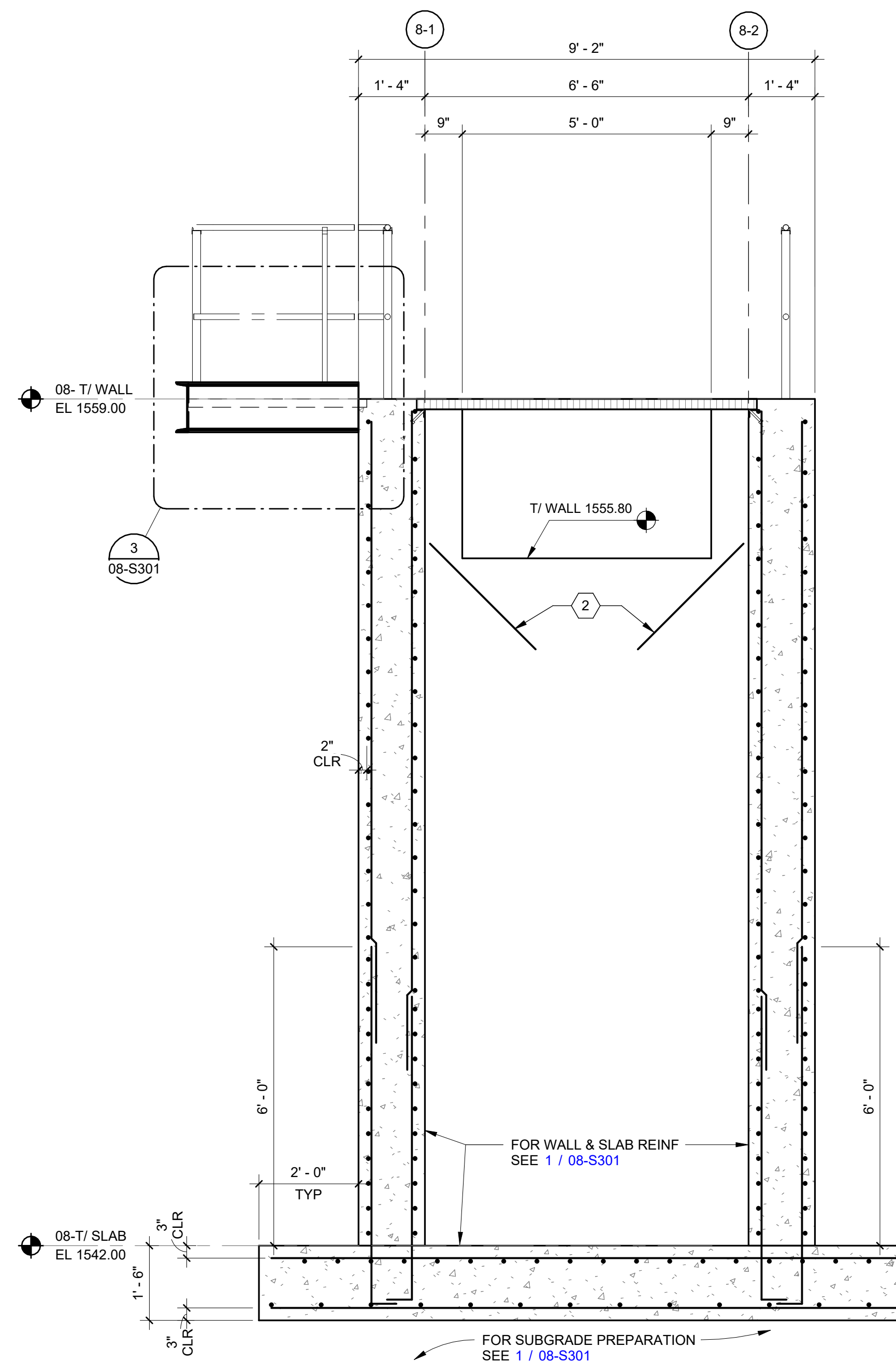
1. SEE 08-S101 FOR GENERAL NOTES.
2. ALL CONCRETE ON THIS SHEET IS MIX 1 (2/05-S500), WATER-CONTAINING CONCRETE.

**KEYNOTES:** #

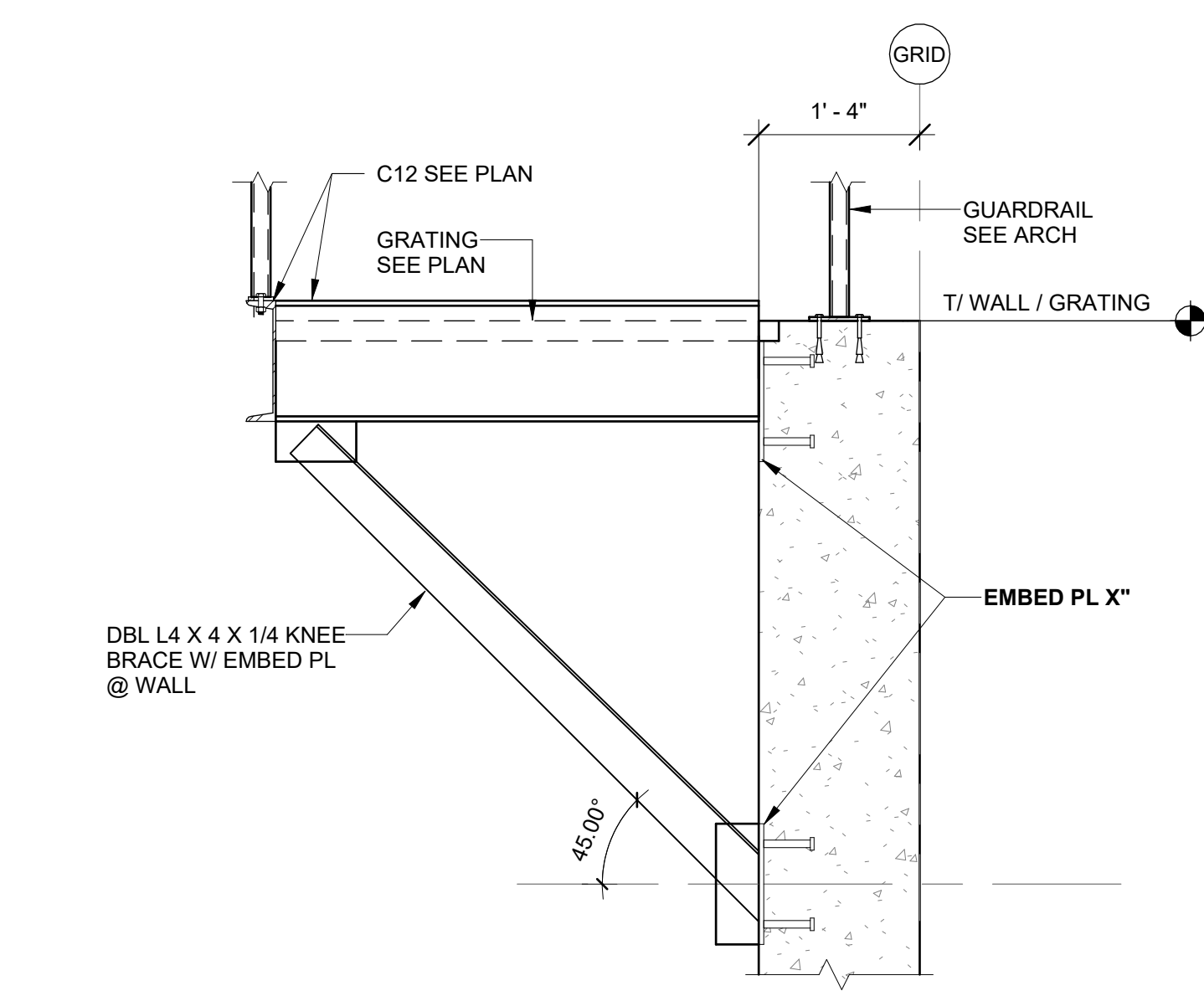
1. 4-INCH TALL TOE BOARD AROUND EACH SLIDE GATE. FABRICATE TOE BOARD INTEGRALLY WITH ALUMINUM GRATING. TOE BOARD AND EDGE OF GRATING SHALL BE 2" CLEAR FROM GATE.
2. #4 DIAGONAL BARS EA FACE AT ALL REENTRANT CORNERS.
3. EXCAVATE TO 1'-0" BELOW BOTTOM OF NEW CONCRETE FTG AND PROOF ROLL WITH LOADED 10-YARD TANDEM AXLE DUMP TRUCK. CORRECT ANY SOFT SPOTS. PROVIDE AND INSTALL GEOTEXTILE. FILL TO BOTTOM OF NEW CONCRETE WITH COMPACTED GRANULAR FILL.



**1 SPLITTER SECTION**  
SCALE: 1/2" = 1'-0"



**2 SPLITTER SECTION**  
SCALE: 1/2" = 1'-0"



**3 GRATING SUPPORT L FRAME AT LANDING**  
SCALE: 3/4" = 1'-0"

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NOT FOR  
CONSTRUCTION

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APPROVED:	DLN	JOB NUMBER:	220899.01
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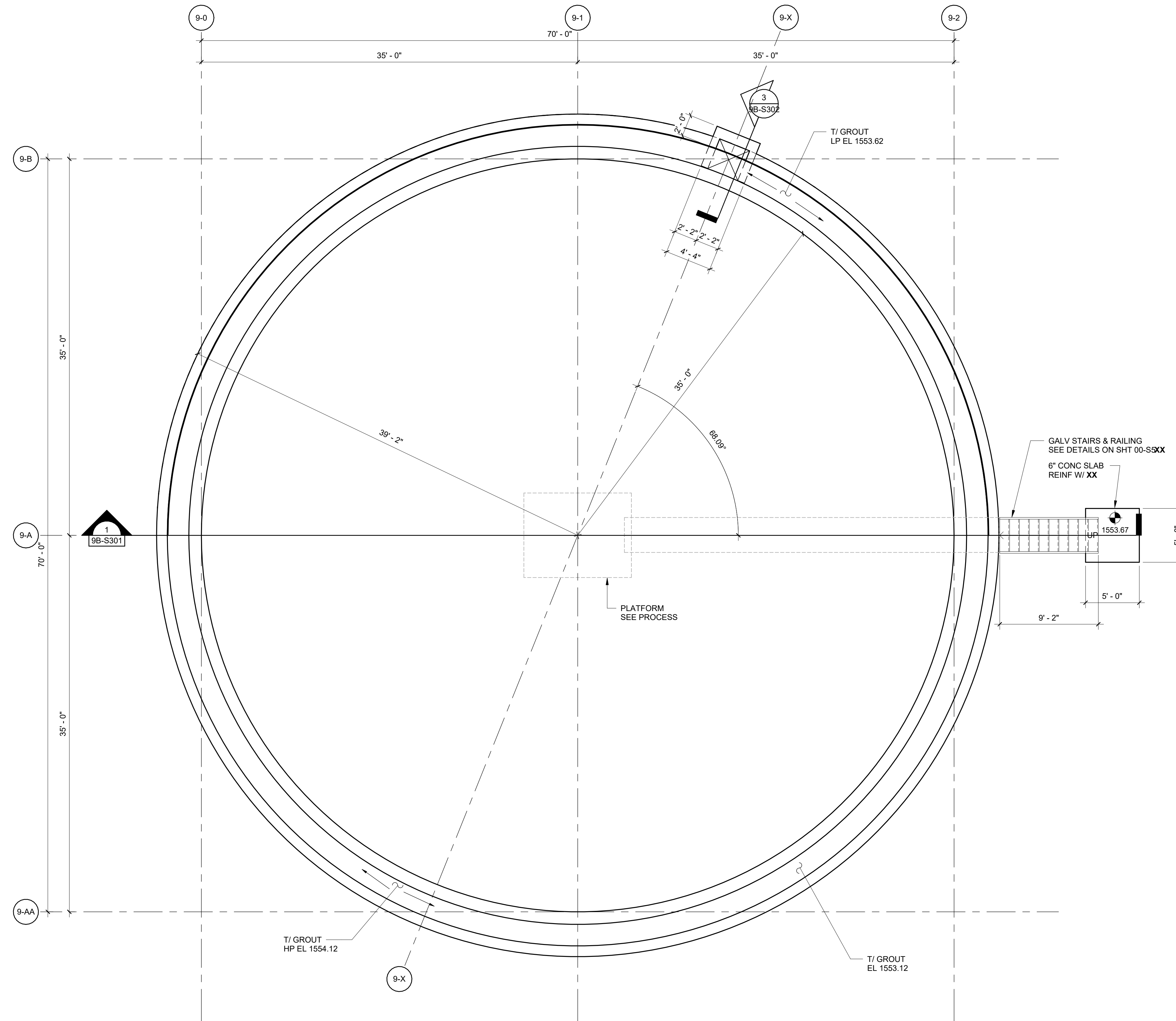
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JBS USA, LLC  
WORTHINGTON, MINNESOTA

CLARIFIER SPLITTER  
SECTIONS

SHEET NO.  
**08-S301**

GENERAL NOTES:

KEYNOTES: #



1 UPPER PLAN  
SCALE: 3/16" = 1'-0"



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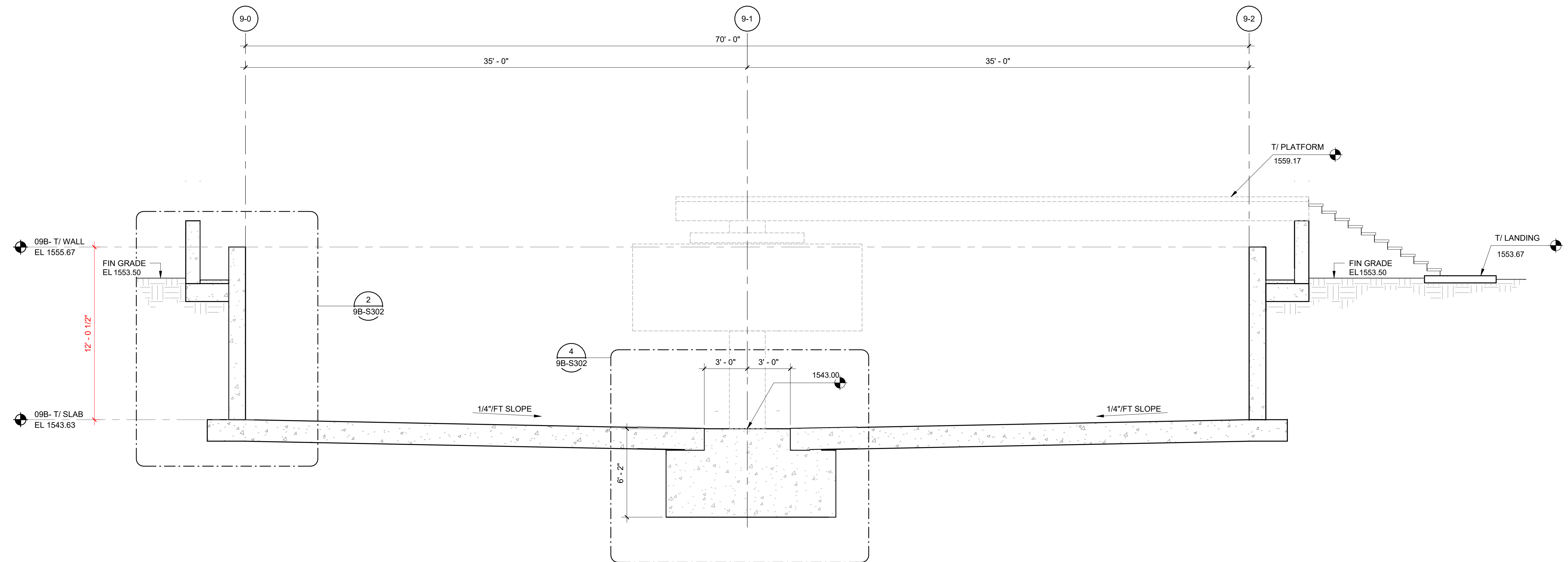
SIGNATURE: \_\_\_\_\_  
DATE: 01/20/2026 DENNIS L. NEUMANN REG. NO. 19807



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

SECONDARY CLARIFIER #2  
UPPER PLAN

SHEET NO.  
9B-S101



**1 SECTION**  
SCALE: 1/4" = 1'-0"

90% REVIEW SET  
NOT FOR  
CONSTRUCTION

DRAWN BY:	MLM	JOB DATE:	2025
APPROVED:	DLN	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 11:58:43 AM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

NO	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: \_\_\_\_\_  
DATE: 01/20/2026 DENNIS L. NEUMANN REG. NO. 19807



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

SECONDARY CLARIFIER #2  
SECTION

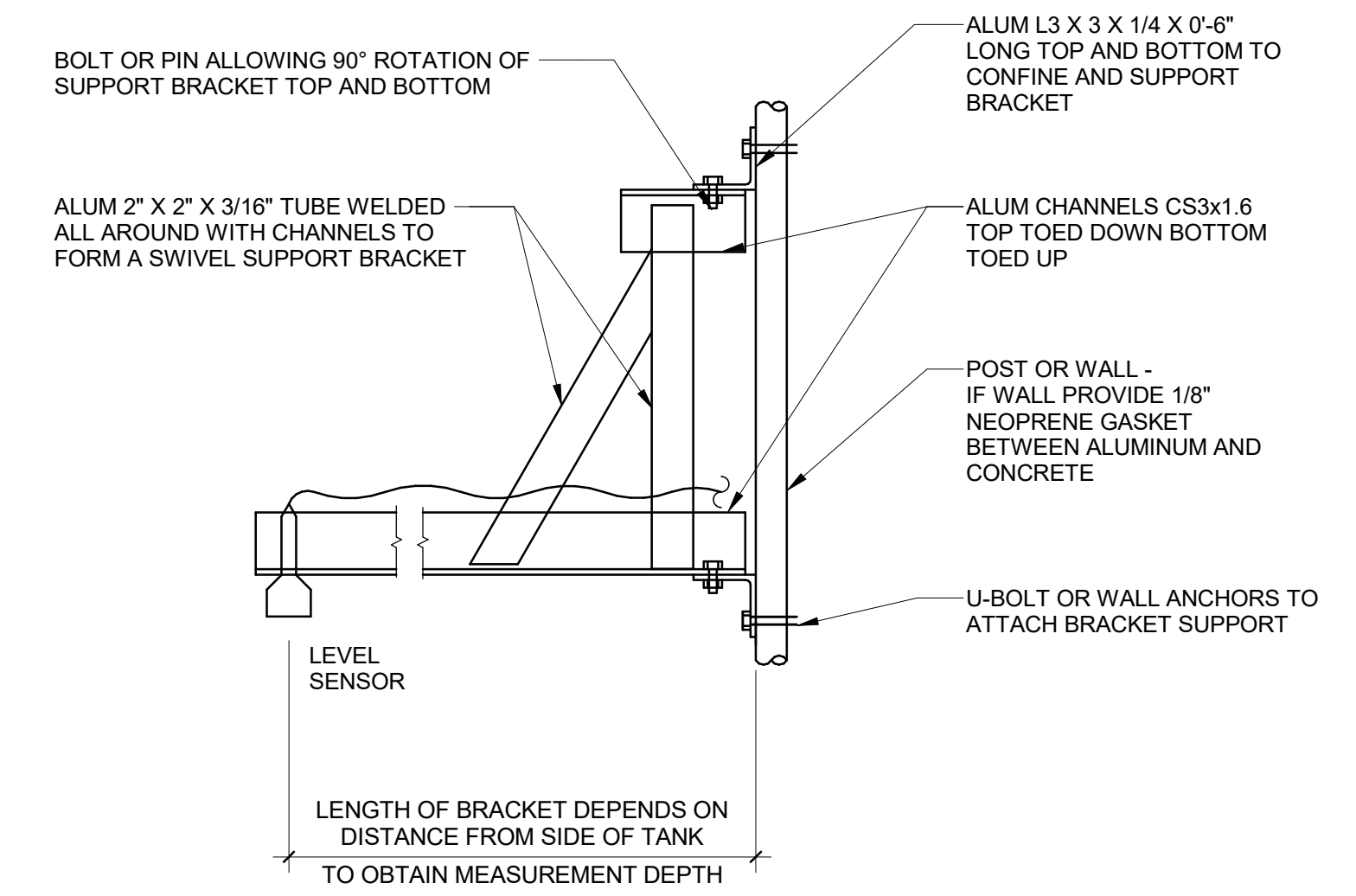
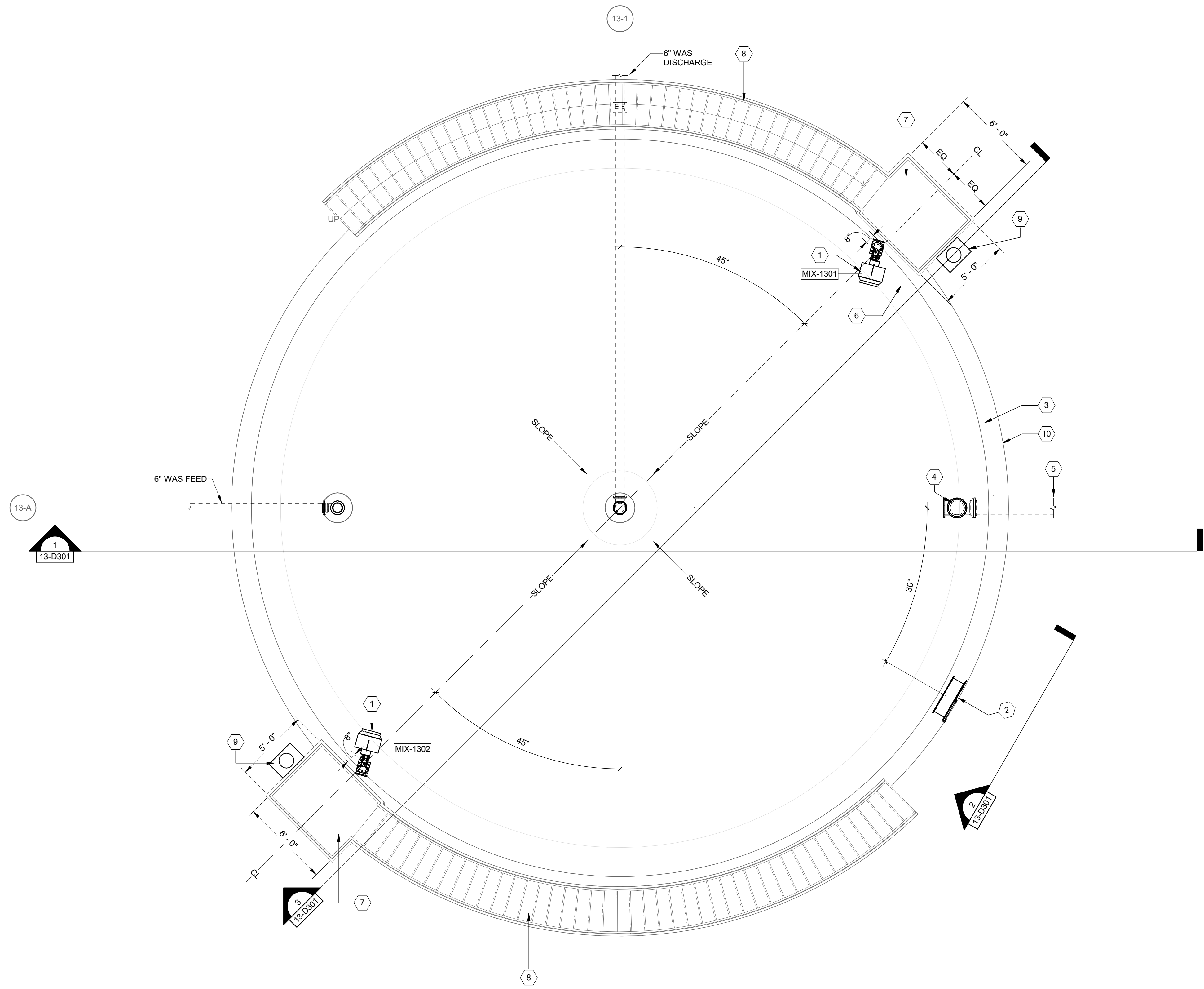
SHEET NO.  
**9B-S301**

**GENERAL NOTES:**

- UNLESS NOTED OTHERWISE, ALL PROPOSED PIPING IS DIP.
- UNLESS NOTED OTHERWISE, ALL BENDS ARE LONG RADIUS.

**KEYNOTES:** #

- MOUNT MIXERS PER MANUFACTURERS INSTRUCTIONS.
- 30" ACCESS HATCH.
- BOLTED STEEL TANK. SEE SPECIFICATION SECTION 33 3613 FOR ADDITIONAL INFORMATION.
- 10" OVERFLOW.
- 10" OVERFLOW TO SANITARY MANHOLE. SEE CIVIL.
- RADAR LEVEL TRANSMITTER. SUPPORT FROM ACCESS PLATFORM PER 2/13D101.
- ALUMINUM ACCESS PLATFORM (TYP 2) PROVIDED BY TANK MANUFACTURER. PROVIDE COLUMNS TO SUPPORT PLATFORMS.
- ALUMINUM SPIRAL STAIRS (TYP 2) PROVIDED BY TANK MANUFACTURER.
- JIB CRANE FOR MIXER (TYP 2). SEE SPECIFICATIONS. CRANE SUPPORT BY TANK MFR. SUPPORT CRANE OFF PLATFORM. CONCRETE FOUNDATION TO BE DESIGNED BY TANK MANUFACTURER. PROVIDE 1/4" PER FT SLOPE TOWARD CENTER AS SHOWN, EITHER WITH FOUNDATION DESIGN OR GROUT. SEE SPECIFICATION SECTION 33 3613 FOR ADDITIONAL INFORMATION.



**1** PROCESS PLAN -WAS STORAGE TANK  
SCALE: 1/4" = 1'-0"

**2** LEVEL SENSOR SWIVEL SUPPORT BRACKET  
SCALE: 6" = 1'-0"

90% REVIEW SET  
NOT FOR  
CONSTRUCTION

DRAWN BY: JJC	JOB DATE: 2025
APPROVED: KDS	JOB NUMBER: 220899.01
CAD DATE: 3/9/2026 2:22:05 PM	
CAD FILE: J:\2022\220899.01\CAD\Drawings\Revit\MEP Model	

NO	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: \_\_\_\_\_  
DATE: 01/20/2026 KYLE D. SANDBERG REG. NO. 59330



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

WAS STORAGE TANK  
PROCESS PLAN AND DETAIL

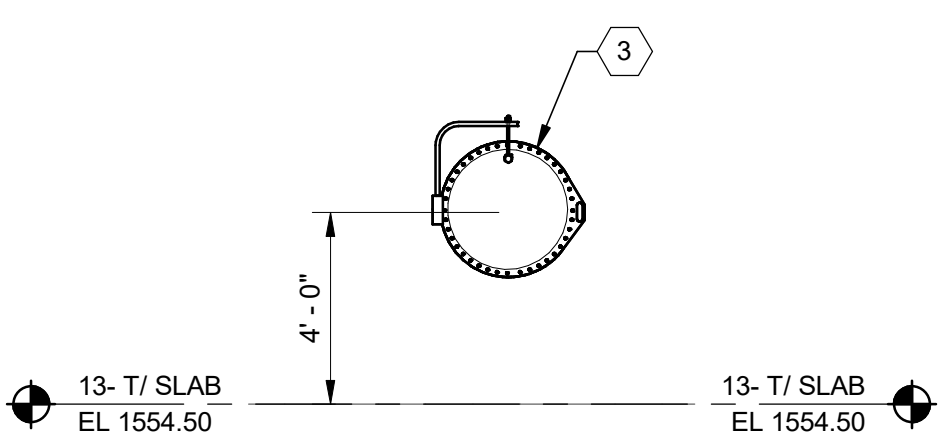
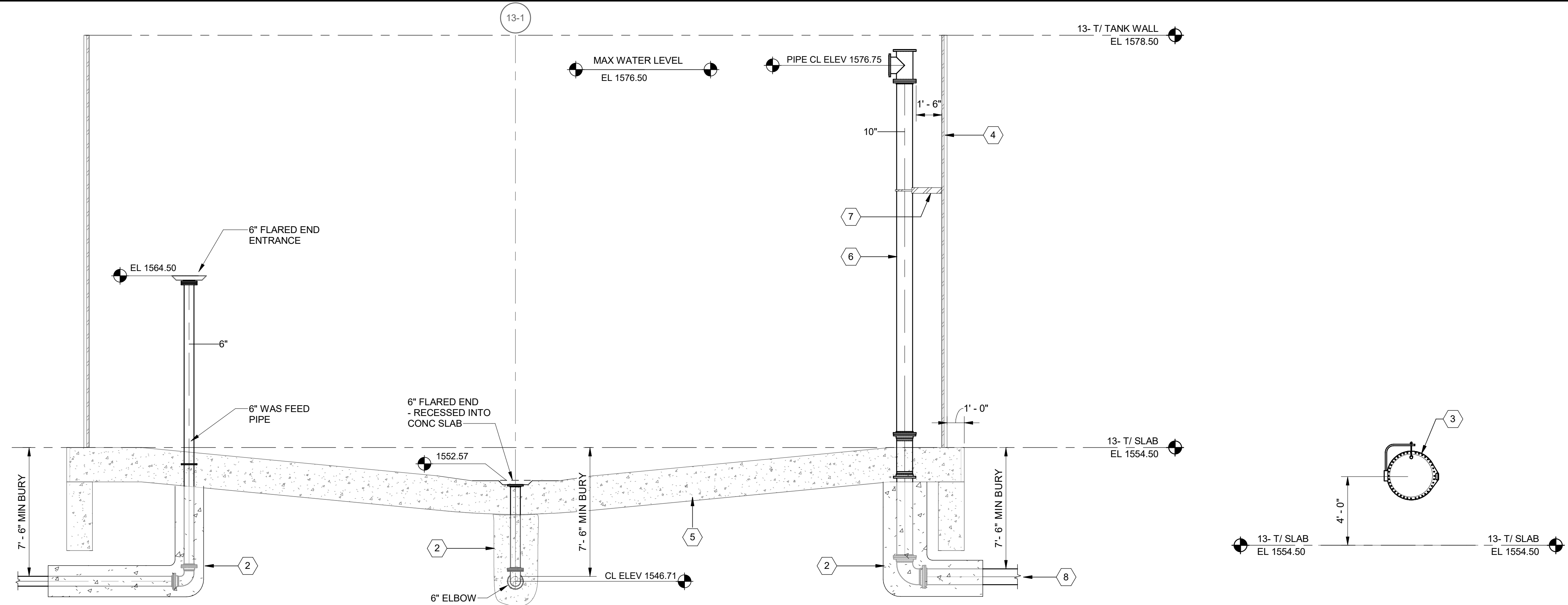
SHEET NO.  
**13-D101**

**GENERAL NOTES:**

- 1. UNLESS NOTED OTHERWISE, ALL PROPOSED PIPING IS DIP.
- 2. UNLESS NOTED OTHERWISE, ALL BENDS ARE LONG RADIUS.

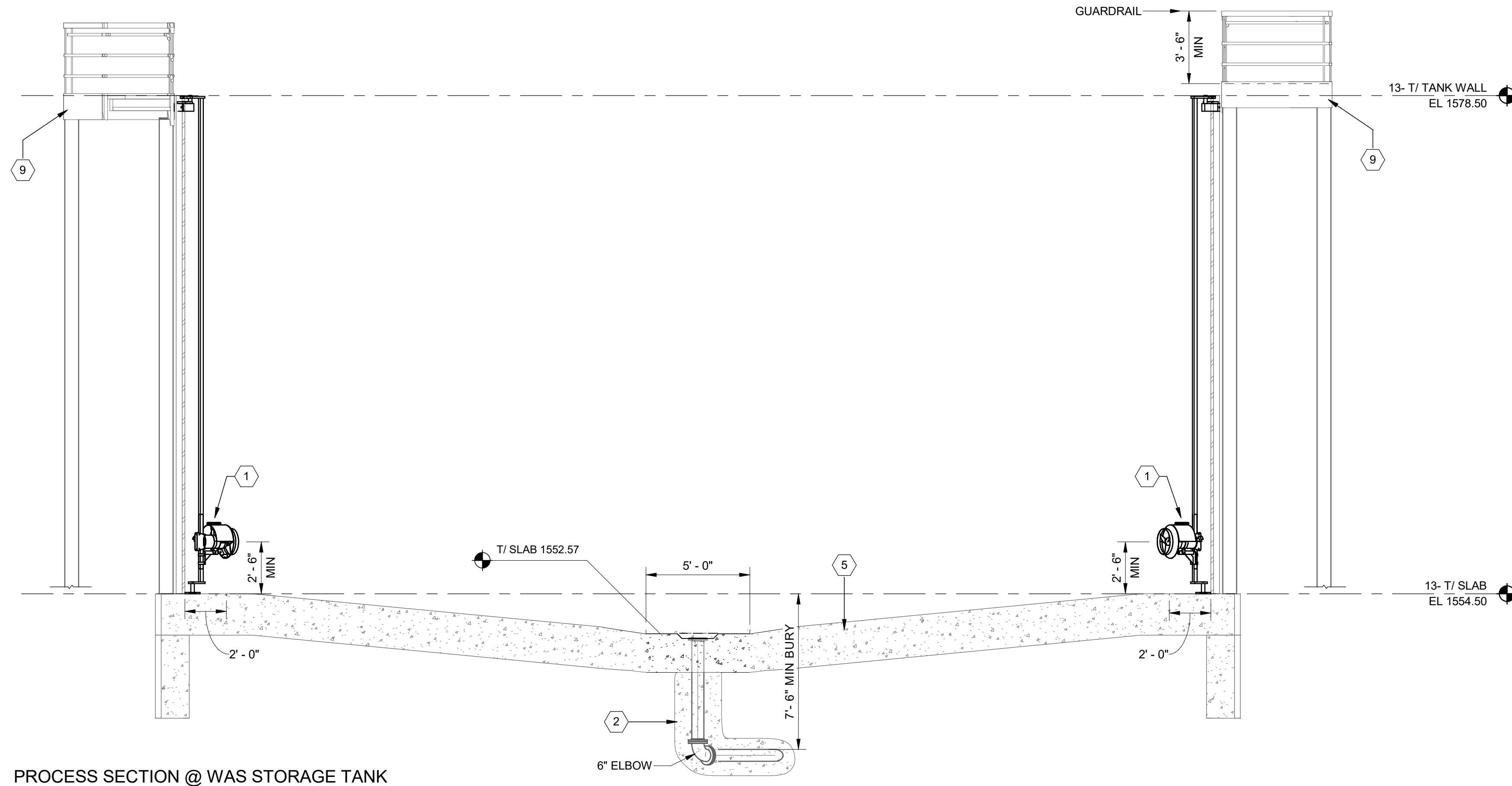
**KEYNOTES:** #

- 1. MOUNT MIXERS PER MANUFACTURERS INSTRUCTIONS.
- 2. ENCASE PIPE IN CONCRETE PER 400-D501.
- 3. 30" ACCESS HATCH.
- 4. BOLTED STEEL TANK. SEE SPECIFICATION SECTION 33 3613 FOR ADDITIONAL INFORMATION.
- 5. CONCRETE FOUNDATION TO BE DESIGNED BY TANK MANUFACTURER. PROVIDE 1/4" PER FT SLOPE TOWARD CENTER AS SHOWN, EITHER WITH FOUNDATION DESIGN OR GROUT. SEE SPECIFICATION SECTION 33 3613 FOR ADDITIONAL INFORMATION.
- 6. 10" OVERFLOW PIPE.
- 7. VERTICAL PIPE SUPPORT BY TANK MANUFACTURER (TYP).
- 8. 10" OVERFLOW TO SANITARY MANHOLE. SEE CIVIL.
- 9. ALUMINUM ACCESS PLATFORM (TYP 2) PROVIDED BY TANK MANUFACTURER. PROVIDE COLUMNS TO SUPPORT PLATFORMS.



**1** PROCESS SECTION @ WAS STORAGE TANK  
SCALE: 1/4" = 1'-0"

**2** PROCESS SECTION / ACCESS HATCH  
SCALE: 1/4" = 1'-0"



**3** PROCESS SECTION @ WAS STORAGE TANK  
SCALE: 1/4" = 1'-0"

90% REVIEW SET  
NOT FOR  
CONSTRUCTION

DRAWN BY: JJC	JOB DATE: 2025
APPROVED: KDS	JOB NUMBER: 220899.01
CAD DATE: 3/9/2026 2:22:07 PM	
CAD FILE: J:\2022\220899.01\CAD\Drawgs\Revit\MEP Model	

NO	DATE	BY	REVISION DESCRIPTION

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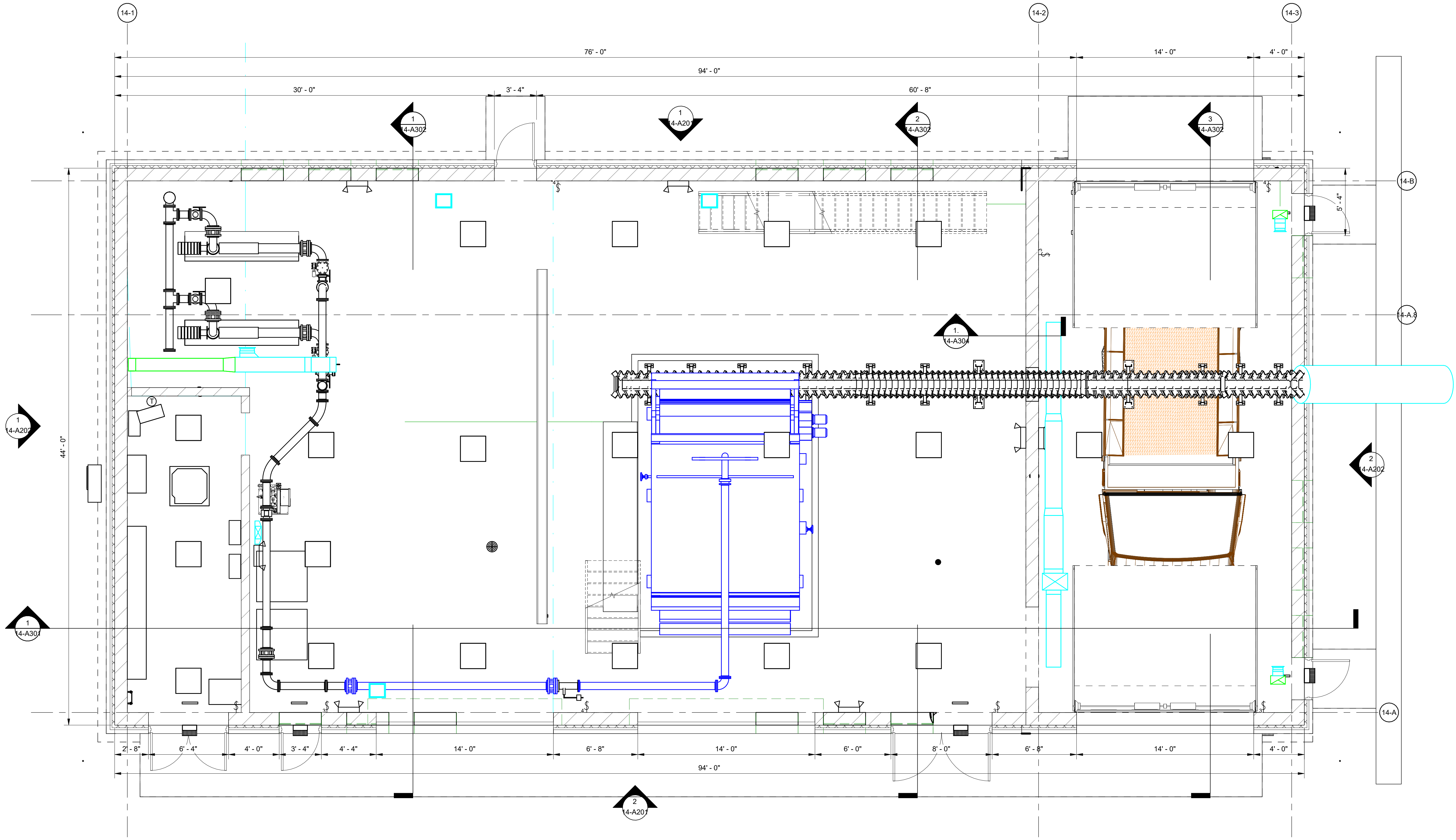
SIGNATURE: \_\_\_\_\_  
DATE: 01/20/2026 KYLE D. SANDBERG REG. NO. 59330



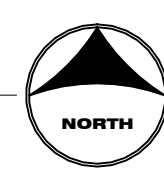
WWTP IMPROVEMENTS  
JBS USA, LLC  
WORTHINGTON, MINNESOTA

WAS STORAGE TANK  
PROCESS SECTIONS

SHEET NO.  
**13-D301**



1 14- FIRST FLOOR  
SCALE: 1/4" = 1'-0"



NOT FOR  
CONSTRUCTION

DRAWN BY:	ARCH	JOB DATE:	2025
APPROVED:	ARCH	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 12:26:04 PM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

NO	DATE	BY	REVISION DESCRIPTION

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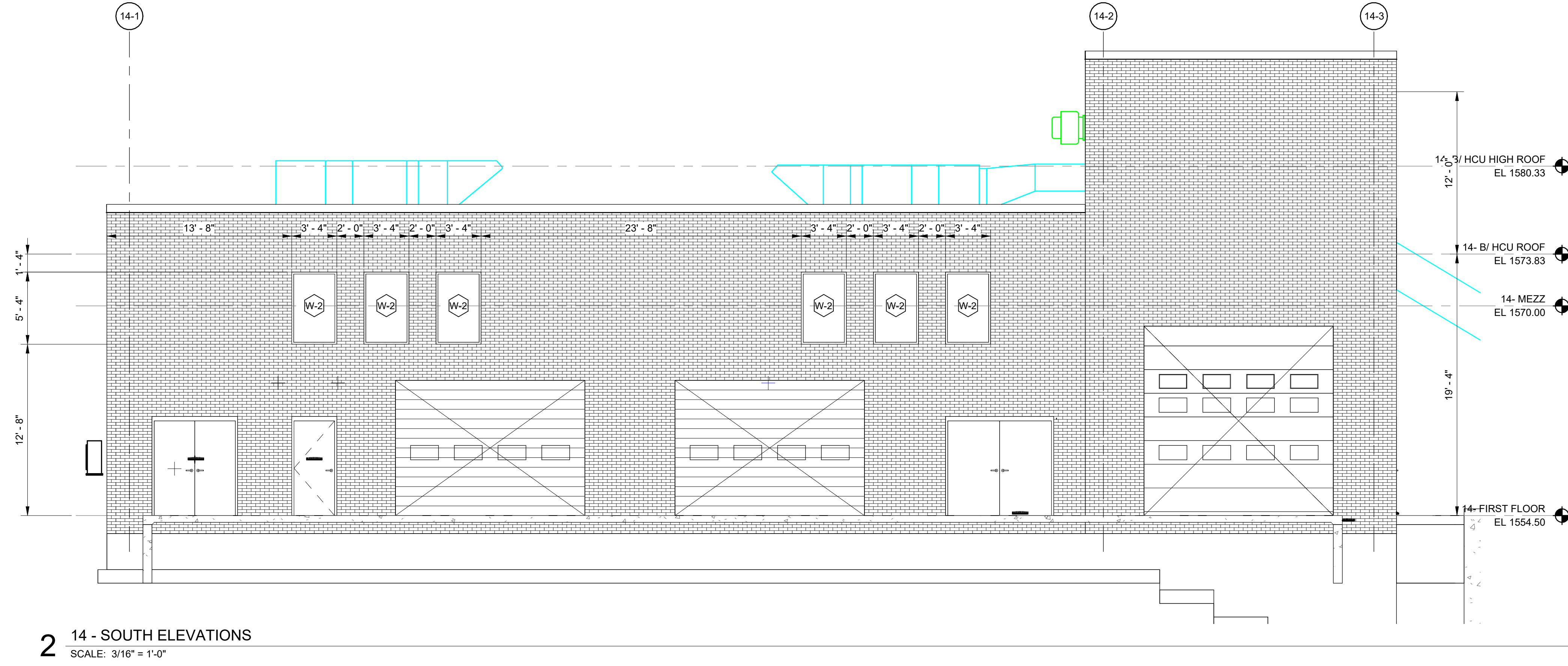
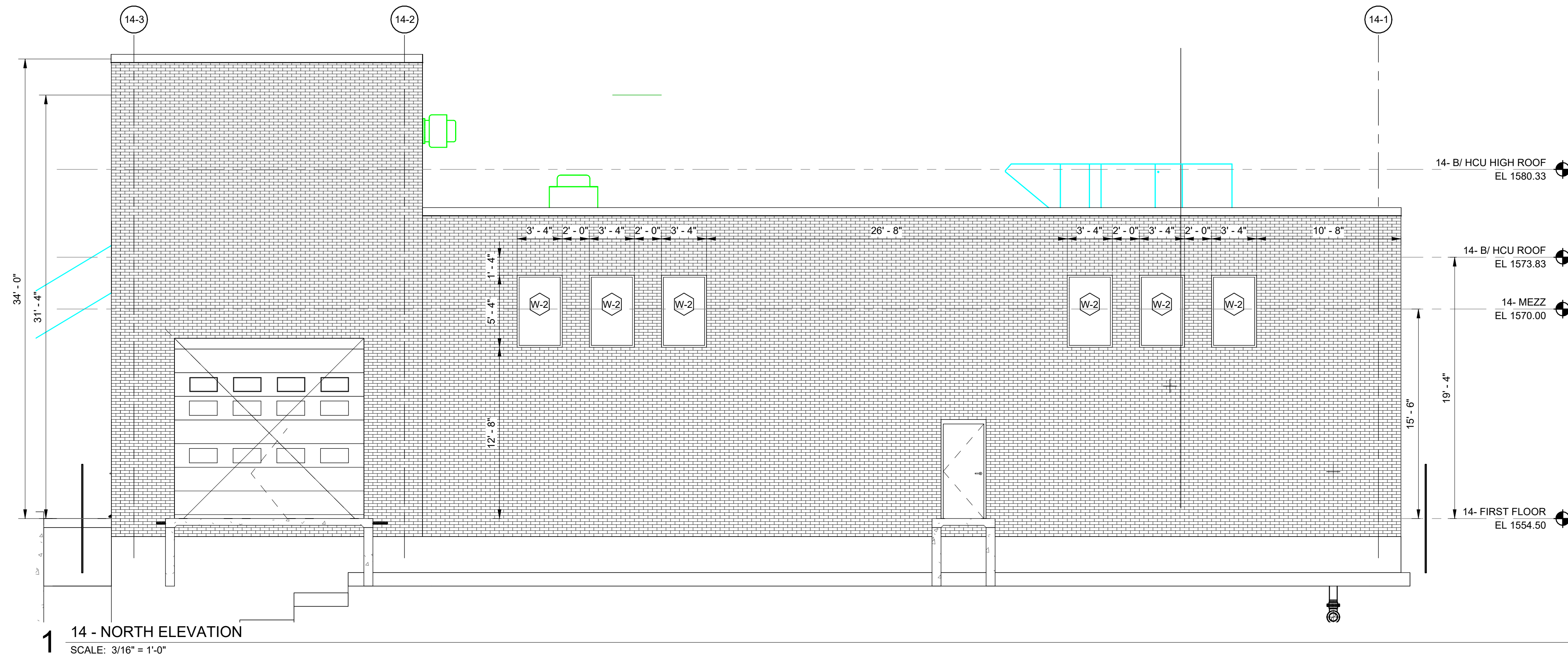
SIGNATURE: \_\_\_\_\_ ARCHITECT'S NAME \_\_\_\_\_  
DATE: 01/20/2026 REG. NO. REG. NO. \_\_\_\_\_



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JBS USA, LLC  
WORTHINGTON, MINNESOTA

DEWATERING BUILDING  
ARCHITECTURAL PLAN

SHEET NO.  
14-A101



NOT FOR  
CONSTRUCTION

DRAWN BY:	ARCH	JOB DATE:	2025
APPROVED:	ARCH	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 12:25:52 PM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

NO	DATE	BY	REVISION DESCRIPTION

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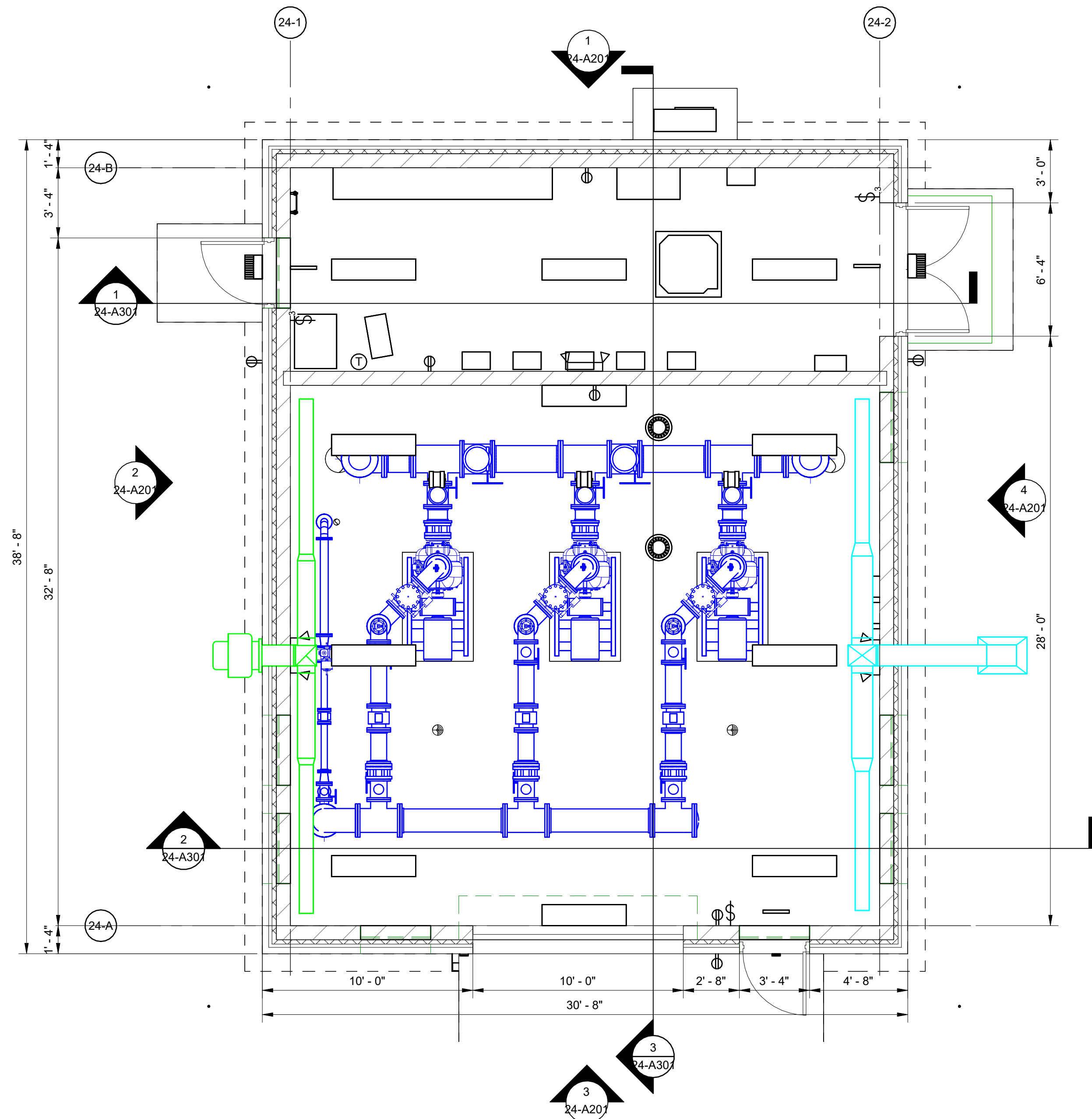
SIGNATURE: \_\_\_\_\_ ARCHITECT'S NAME \_\_\_\_\_  
 DATE: 01/20/2026 REG. NO. REG NO. \_\_\_\_\_



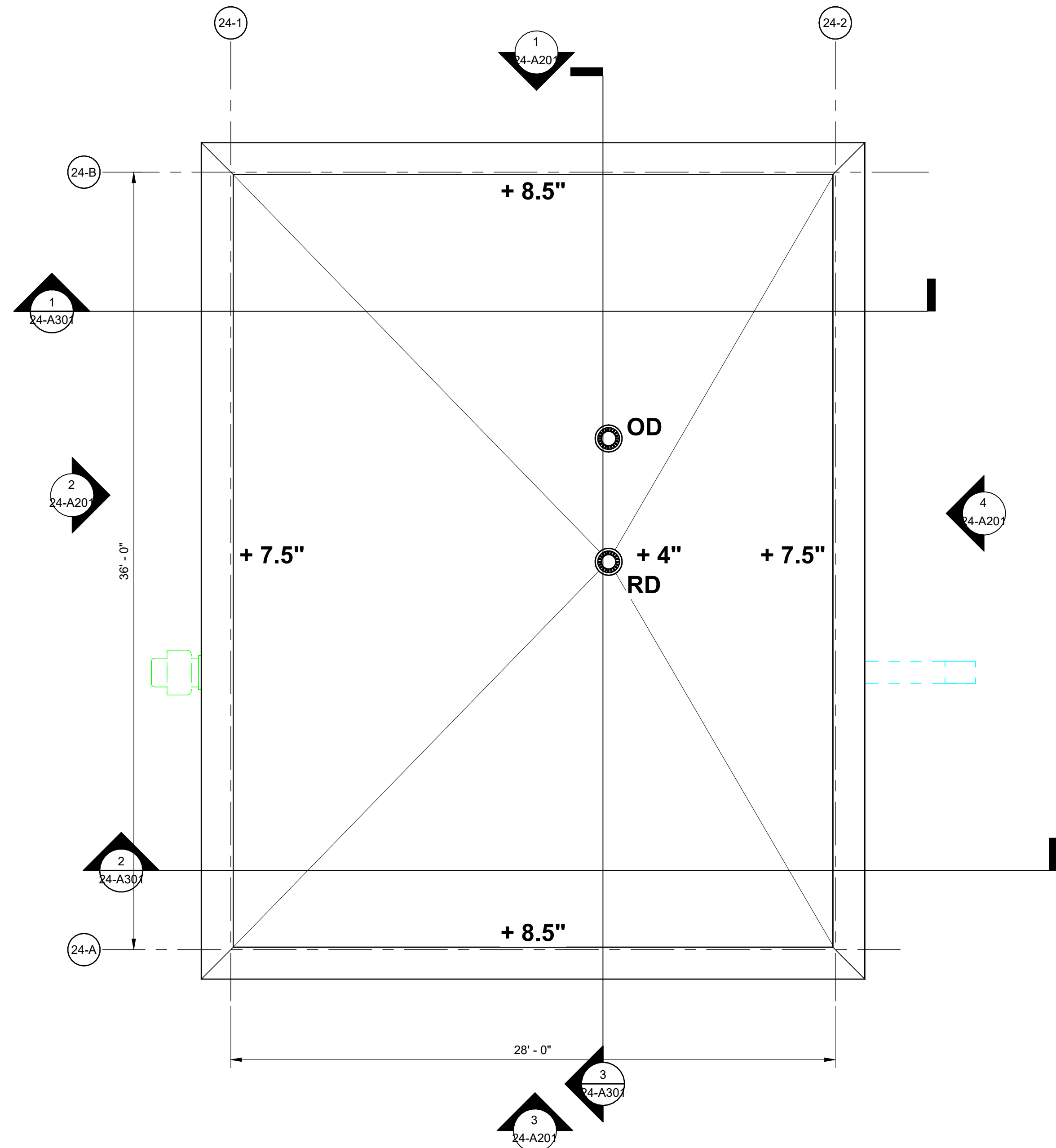
WWTP IMPROVEMENTS  
 JBS USA, LLC  
 WORTHINGTON, MINNESOTA

DEWATERING BUILDING  
 ARCHITECTURAL ELEVATIONS

SHEET NO.  
**14-A201**



**1** 24- FIRST FLOOR  
SCALE: 1/4" = 1'-0"



**2** 24- B/HCU  
SCALE: 1/4" = 1'-0"



NOT FOR  
CONSTRUCTION

DRAWN BY:	ARCH	JOB DATE:	2025
APPROVED:	ARCH	JOB NUMBER:	220899.01
CAD DATE:	3/9/2026 12:25:39 PM		
CAD FILE:	J:\2022\220899.01\CAD\Drawings\Revit\MEP Model		

NO	DATE	BY	REVISION DESCRIPTION

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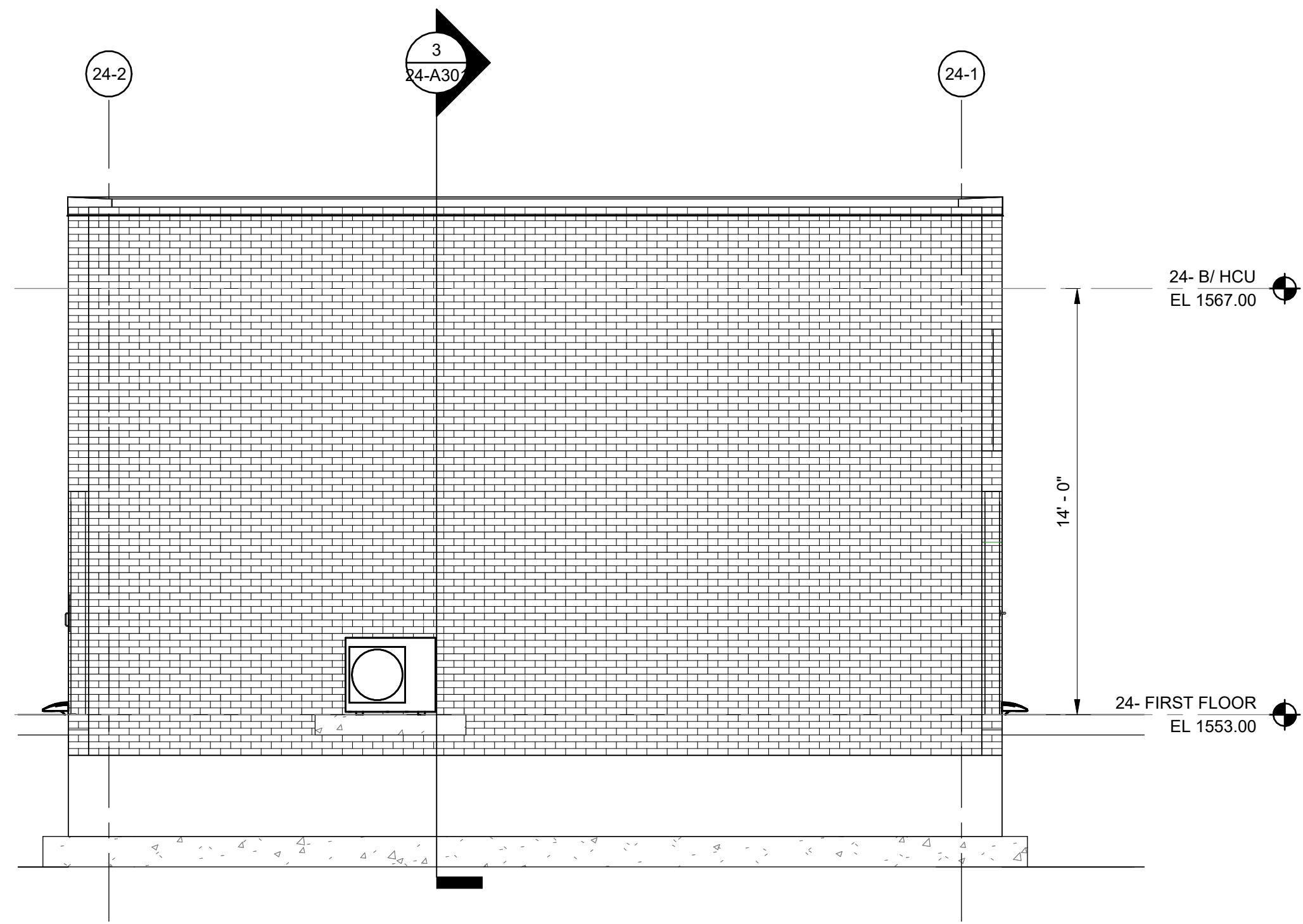
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DATE: 01/20/2026 REG. NO. REG. NO. \_\_\_\_\_



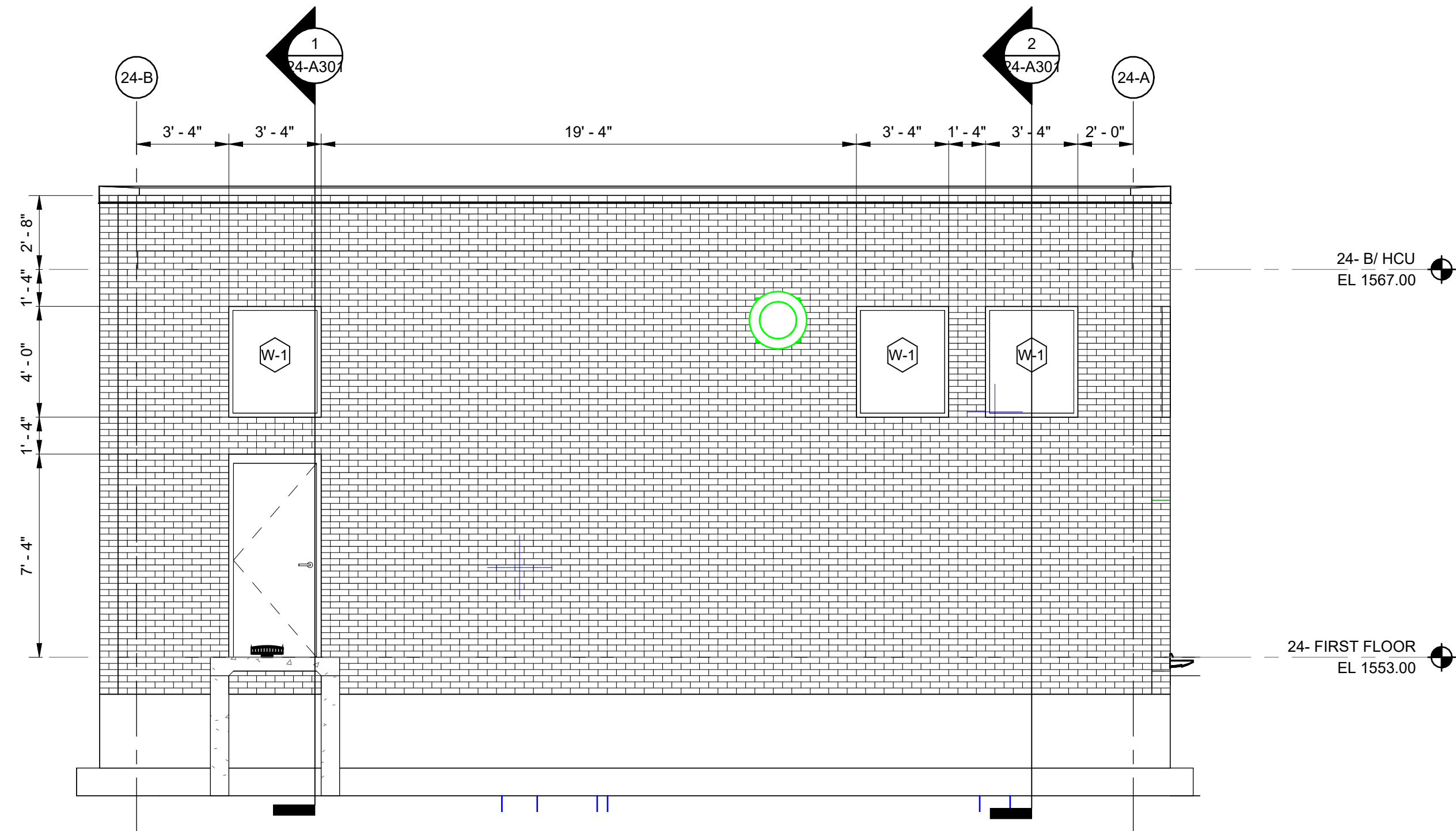
WWTP IMPROVEMENTS  
JBS USA, LLC  
WORTHINGTON, MINNESOTA

RAS LIFT STATION BUILDING  
ARCHITECTURAL PLAN

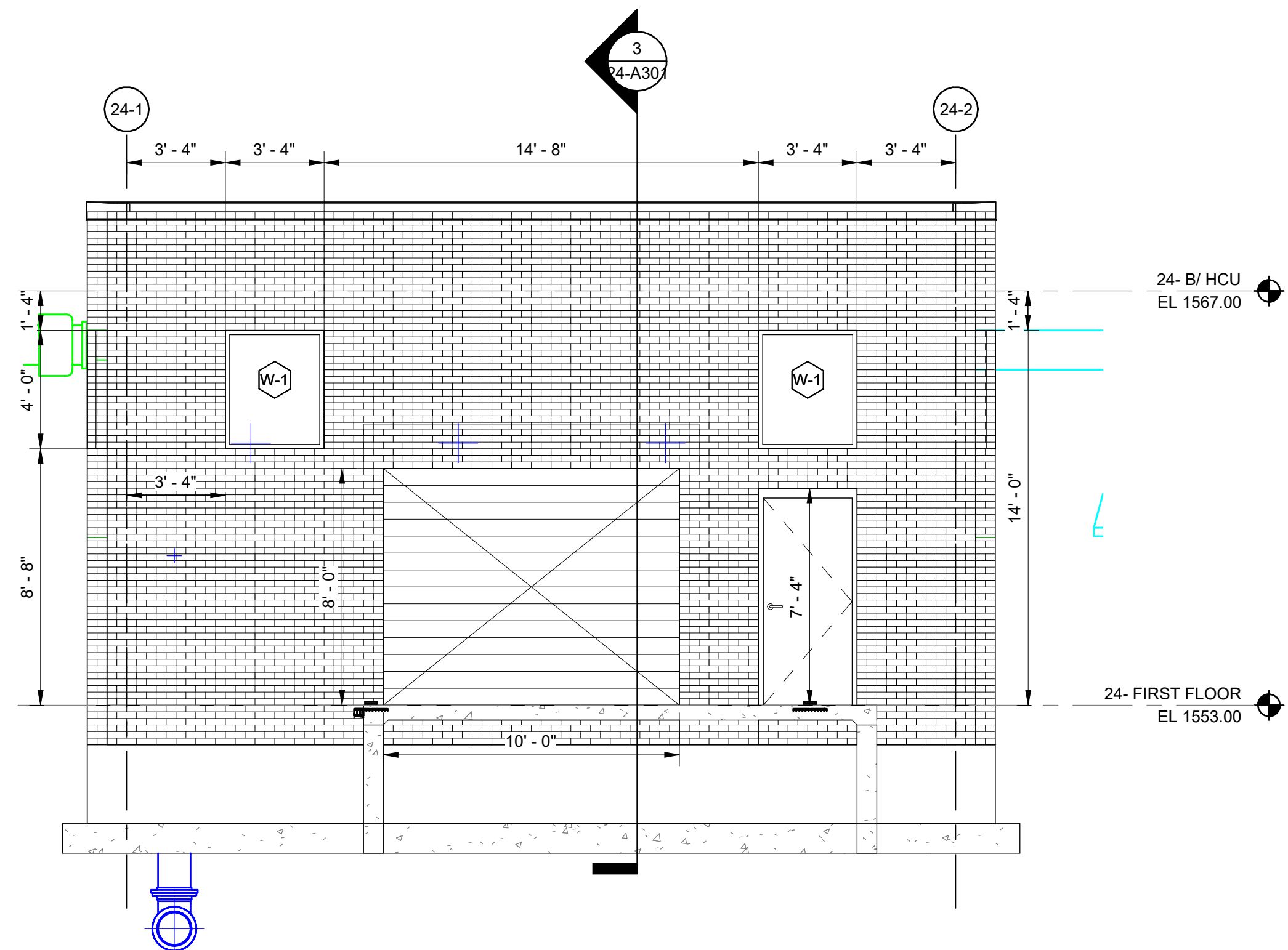
SHEET NO.  
**24-A101**



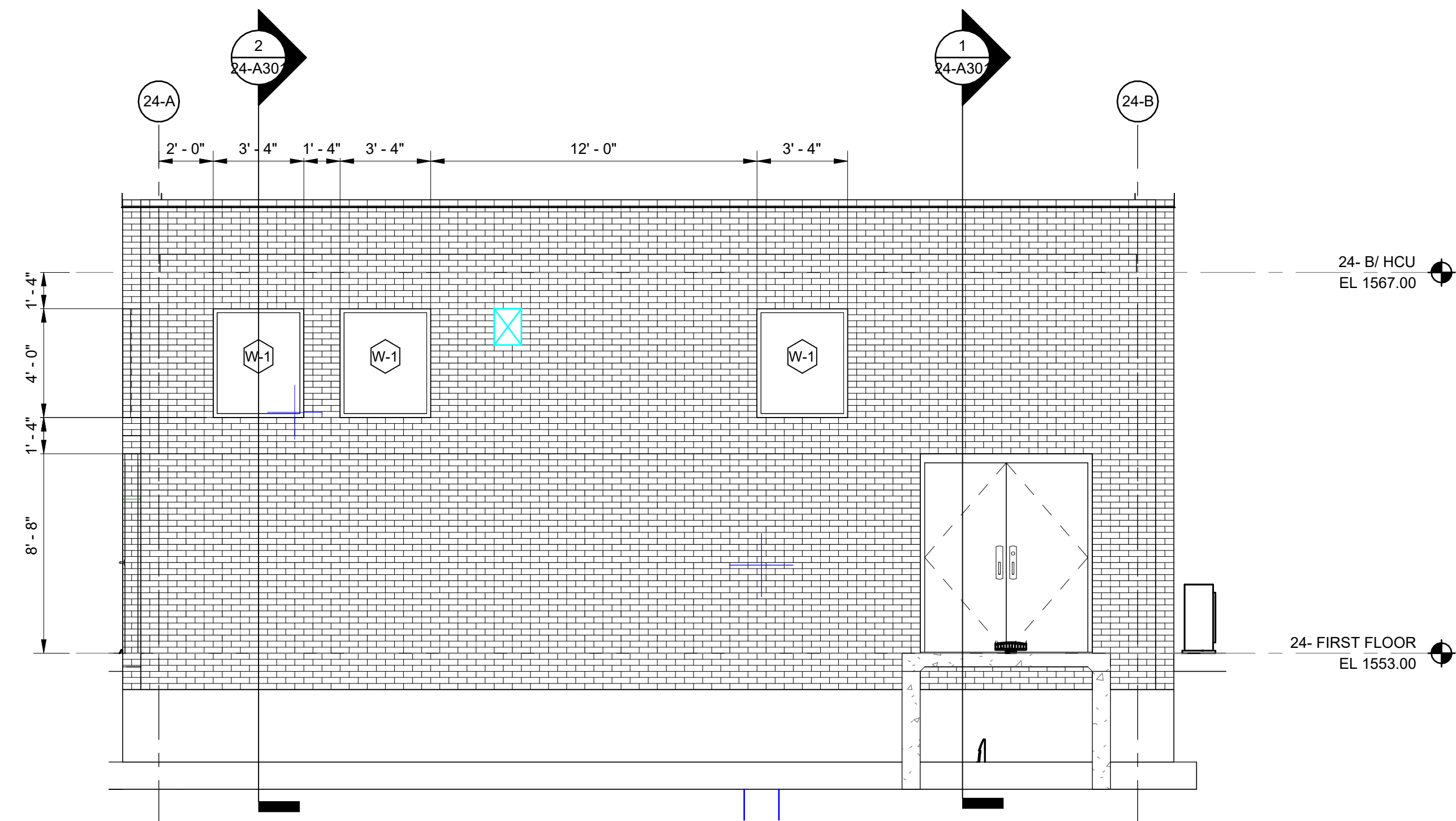
1 24 - NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 24 - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



3 24 - SOUTH ELEVATIONS  
SCALE: 1/4" = 1'-0"



4 24 - EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NOT FOR  
CONSTRUCTION

DRAWN BY: ARCH JOB DATE: 2025  
 APPROVED: ARCH JOB NUMBER: 220899.01  
 CAD DATE: 3/9/2026 12:26:02 PM  
 CAD FILE: J:\2022\220899.01\CAD\Drawings\Revit\MEP Model

NO	DATE	BY	REVISION DESCRIPTION

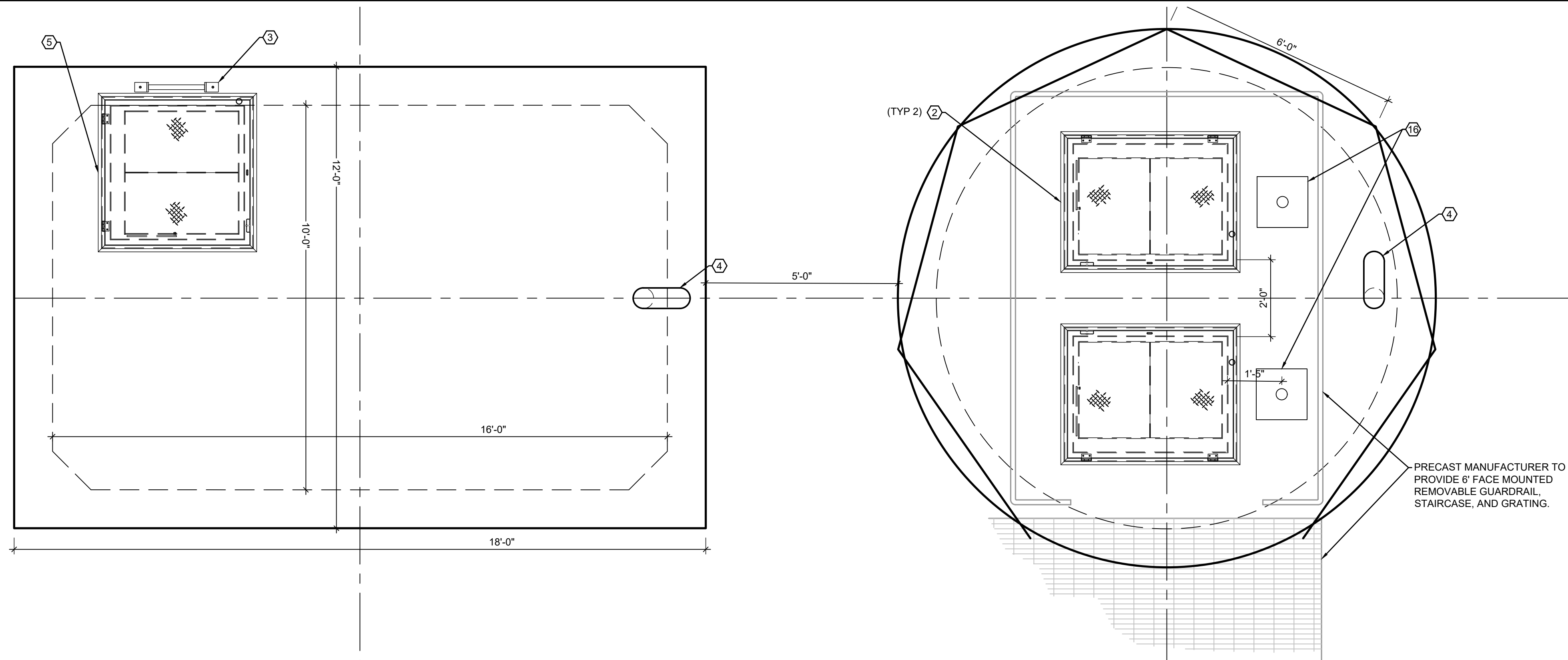
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 SIGNATURE: \_\_\_\_\_ ARCHITECT'S NAME \_\_\_\_\_  
 DATE: 01/20/2026 REG. NO. REG NO. \_\_\_\_\_



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 JBS USA, LLC  
 WORTHINGTON, MINNESOTA

RAS LIFT STATION BUILDING  
 ARCHITECTURAL ELEVATIONS

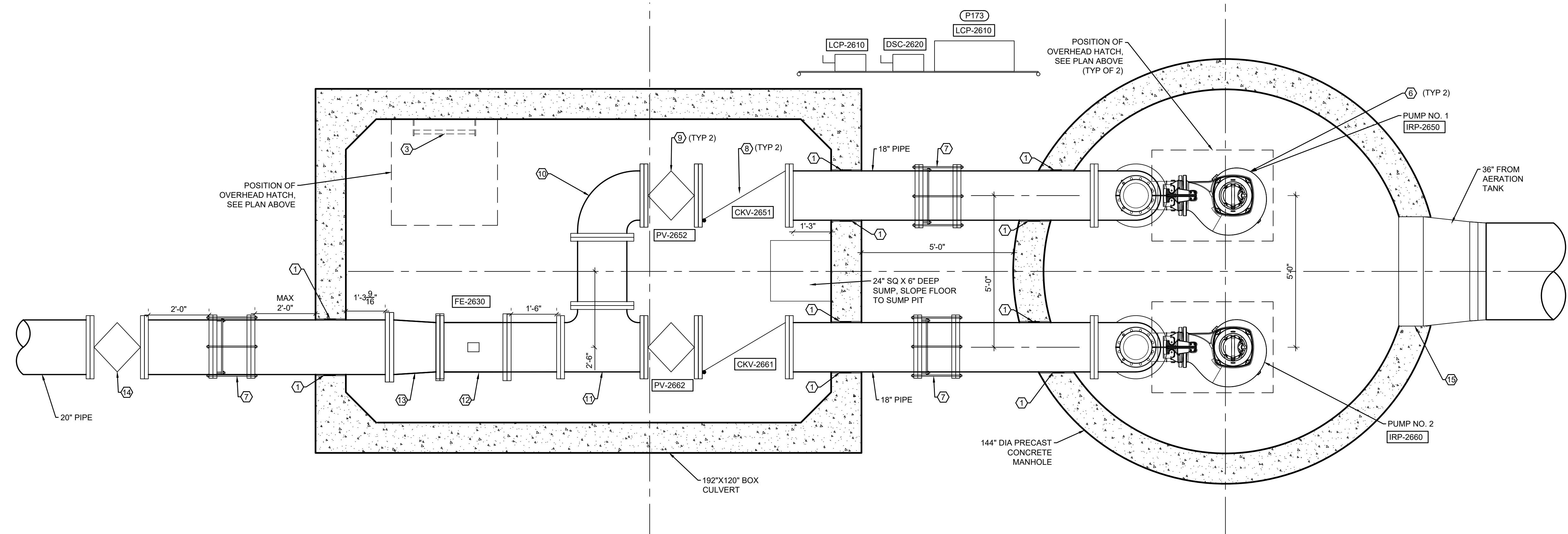
SHEET NO.  
 24-A201



- GENERAL NOTES:**
1. COAT ALL PIPING, FITTINGS, VALVES, EQUIPMENT, HANGERS, AND SUPPORTS PER SPECIFICATION SECTION 09 9000.
  2. PROVIDE PIPE HANGERS AND SUPPORTS PER SPECIFICATION SECTION 22 0529.
  3. RESTRAIN ALL JOINTS.
  4. ALL BENDS ARE LONG RADIUS UNLESS OTHERWISE NOTED.
  5. ALL PIPING IS DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

- KEY NOTES:**
1. SEAL PIPE PENETRATION. SEE DETAIL 4/00-C501.
  2. 36"X48" CLEAR OPENING ALUMINUM ACCESS HATCH PER SPECIFICATIONS 08 3113.
  3. ACCESS LADDER. SEE DETAIL 8/00-C503.
  4. 4" SS VENT PIPE. SEE DETAIL 2/00-C501.
  5. 42" SQ ALUMINUM ACCESS HATCH PER SPECIFICATIONS 08 3113.
  6. INTERNAL RECYCLE SYSTEM LIFT STATION PUMP, TYP OF 2 WITH INTEGRAL DISCHARGE BASE ELBOW.
  7. RESTRAINED JOINT
  8. 18" SWING CHECK VALVE
  9. 18" PLUG VALVE
  10. 18" 90 DEG SHORT RADIUS ELBOW
  11. 18" TEE
  12. 18" FLOWMETER
  13. 18"X20" CONCENTRIC REDUCER
  14. 20" BURIED GATE VALVE. SEE DETAIL 01/00-C501.
  15. WATERTIGHT CONNECTION FOR GRAVITY PIPES. SEE DETAIL 05/00-C501.
  16. TERN PEDestal BASE 5BP10. NO EXCEPTIONS TO TERN BRAND OR MODEL NUMBERS.

**1 INTERNAL RECYCLE VALVE VAULT & LIFT STATION TOP PLAN**  
SCALE: 1/2" = 1'-0"



**2 INTERNAL RECYCLE VALVE VAULT PLAN & LIFT STATION PLAN**  
SCALE: 1/2" = 1'-0"

  
BAR IS ONE INCH ON OFFICIAL DRAWINGS  
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

90% REVIEW SET  
NOT FOR CONSTRUCTION

Xrefs: xref1-1.dwg; KS-25-CSS01

DRAWN BY: JJC	JOB DATE: 2025
APPROVED: KS	JOB NUMBER: 220899.01
CAD DATE: 3/6/2026 2:03:16 PM	
CAD FILE: J:\2022\220899.01\CAD\Drawings\26-SHEETS-AERATION-TANKS\26-D102 LIFT STATION PLAN.dwg	

NO.	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: \_\_\_\_\_  
DATE: XX/XX/2026 KYLE SANDBERG REG. NO. 59330



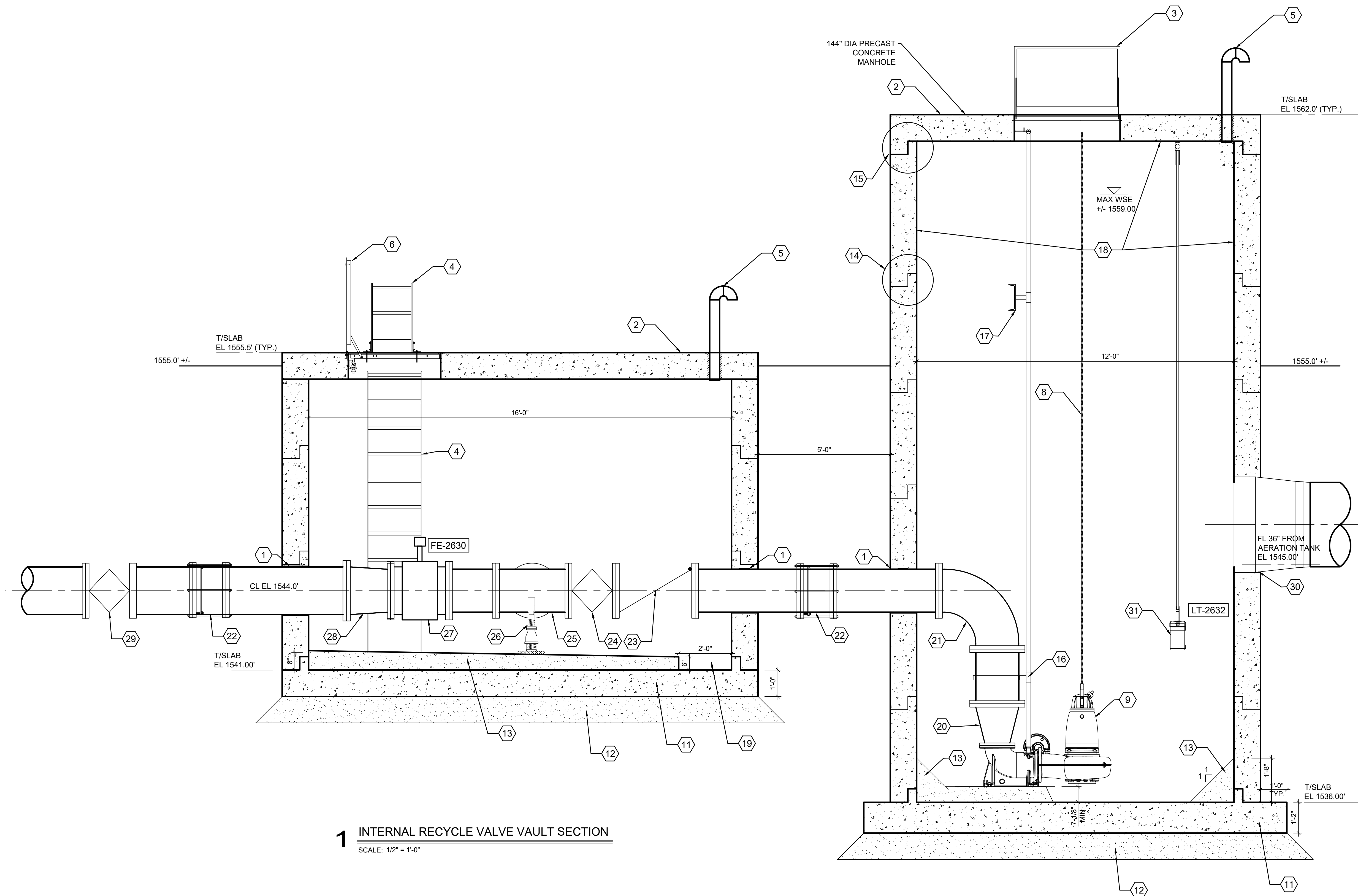
WWTP IMPROVEMENTS  
JBS USA, LLC  
WORTHINGTON, MINNESOTA

AERATION BASIN UPGRADES & INTERNAL RECYCLE SYSTEM  
PROCESS PLAN

SHEET NO.  
**26-D102**

- GENERAL NOTES:**
1. COAT ALL PIPING, FITTINGS, VALVES, EQUIPMENT, HANGERS, AND SUPPORTS PER SPECIFICATION SECTION 09 9000.
  2. PROVIDE PIPE HANGERS AND SUPPORTS PER SPECIFICATION SECTION 22 0529.
  3. RESTRAIN ALL JOINTS.
  4. ALL BENDS ARE LONG RADIUS UNLESS OTHERWISE NOTED.
  5. ALL PIPING IS DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

- KEYNOTES:**
1. SEAL PIPE PENETRATION. SEE DETAIL 4/00-C501.
  2. REINFORCED CONCRETE SLAB REBAR, CONCRETE DETAILS AND SPECIFICATIONS BY STRUCTURE SUPPLIER.
  3. 36"X48" CLEAR OPENING ALUMINUM ACCESS HATCH PER SPECIFICATIONS 08 3113.
  4. ACCESS LADDER, SEE DETAIL 8/00-C503.
  5. 4" SS VENT PIPE, SEE DETAIL 2/00-C501.
  6. 42" SQ ALUMINUM ACCESS HATCH PER SPECIFICATIONS 08 3113.
  7. NOT USED.
  8. 316 STAINLESS STEEL LIFTING CHAIN
  9. INTERNAL RECYCLE LIFT STATION PUMP WITH INTEGRAL DISCHARGE BASE ELBOW, TYP OF 2.
  10. NOT USED.
  11. MONOLITHIC BASE, REBAR & CONCRETE DETAILS & SPECIFICATIONS BY STRUCTURE SUPPLIER.
  12. 12" COMPACTED AGGREGATE BEDDING.
  13. CONCRETE FILL.
  14. PRECAST WALL JOINT, TYP. SEE DETAIL 2/00-C502.
  15. WET WELL COVER SLAB AT PRECAST WALL, TYP. SEE DETAIL 1/00-C502.
  16. INTERMEDIATE SS GUIDE RAIL SUPPORT BRACKETS (TYP) ATTACHED TO PUMP DISCHARGE PIPE, SUPPLIED BY PUMP MANUFACTURER AND INSTALLED BY CONTRACTOR. NUMBER AND SPACING PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 4/00-C502.
  17. INTERMEDIATE SS GUIDE RAIL SUPPORT BRACKETS ATTACHED TO ALUMINUM CHANNEL (CHANNEL PROVIDED BY CONTRACTOR). SUPPORT BRACKET SUPPLIED BY PUMP MANUFACTURER AND INSTALLED BY CONTRACTOR. SEE DETAIL 5/00-C502.
  18. COAT ALL WET WELL INTERIOR PRECAST CONCRETE SURFACES W/AN EPOXY COATING PER SPECS.
  19. 24" SQ x 6" DEEP SUMP W/ GRATED COVER (COVER NOT SHOWN FOR CLARITY).
  20. 10"x18" CONCENTRIC REDUCER
  21. 18" 90 DEGREE ELBOW
  22. RESTRAINED JOINT
  23. 18" SWING CHECK VALVE
  24. 18" PLUG VALVE
  25. 18" TEE
  26. PIPE SUPPORT, SEE DETAIL 3/00-C502.
  27. 18" FLOW METER
  28. 18"x20" CONCENTRIC REDUCER.
  29. 20" BURIED GATE VALVE, SEE DETAIL 01/00-C501.
  30. WATERTIGHT CONNECTION FOR GRAVITY PIPES, SEE DETAIL 05/00-C501.
  31. SUBMERSIBLE LEVEL TRANSDUCER.



**1 INTERNAL RECYCLE VALVE VAULT SECTION**  
SCALE: 1/2" = 1'-0"

**2 INTERNAL RECYCLE LIFT STATION SECTION**  
SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS  
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

90% REVIEW SET  
NOT FOR CONSTRUCTION

DRAWN BY: JJC	JOB DATE: 2025
APPROVED: KS	JOB NUMBER: 220899.01
CAD DATE: 3/6/2026 2:28:56 PM	
CAD FILE: J:\2022\220899.01\CAD\Drawings\26-SHEETS-AERATION-TANKS\26-D301.dwg	

NO.	DATE	BY	REVISION DESCRIPTION

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SIGNATURE: \_\_\_\_\_  
DATE: XX/XX/2026 KYLE SANDBERG REG. NO. 59330



WWTP IMPROVEMENTS  
JBS USA, LLC  
WORTHINGTON, MINNESOTA

AERATION BASIN UPGRADES & INTERNAL RECYCLE SYSTEM  
PROCESS SECTION

SHEET NO.  
**26-D301**

Xrefs: xref1-1.dwg; KS\_26-C5102

We do not have cut sheets for the proposed soda ash system with dimensions. This is what the soda ash system will look like. The total height of this structure is 28'. There will be a slab at grade that may increase the overall height above grade, but the height above grade will be no more than 29'. The top of this structure will have an indicator light.

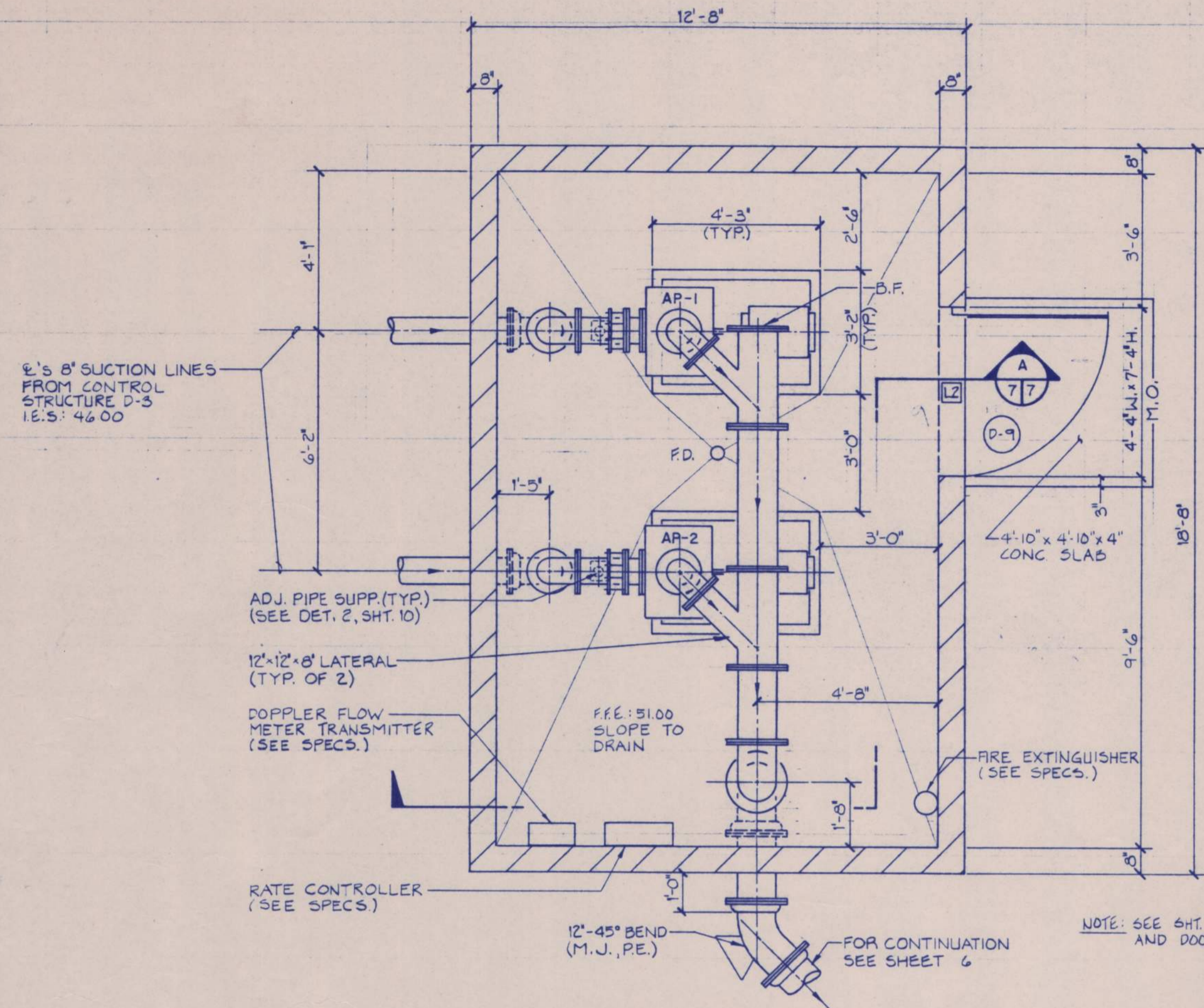


### MARKETS SERVED

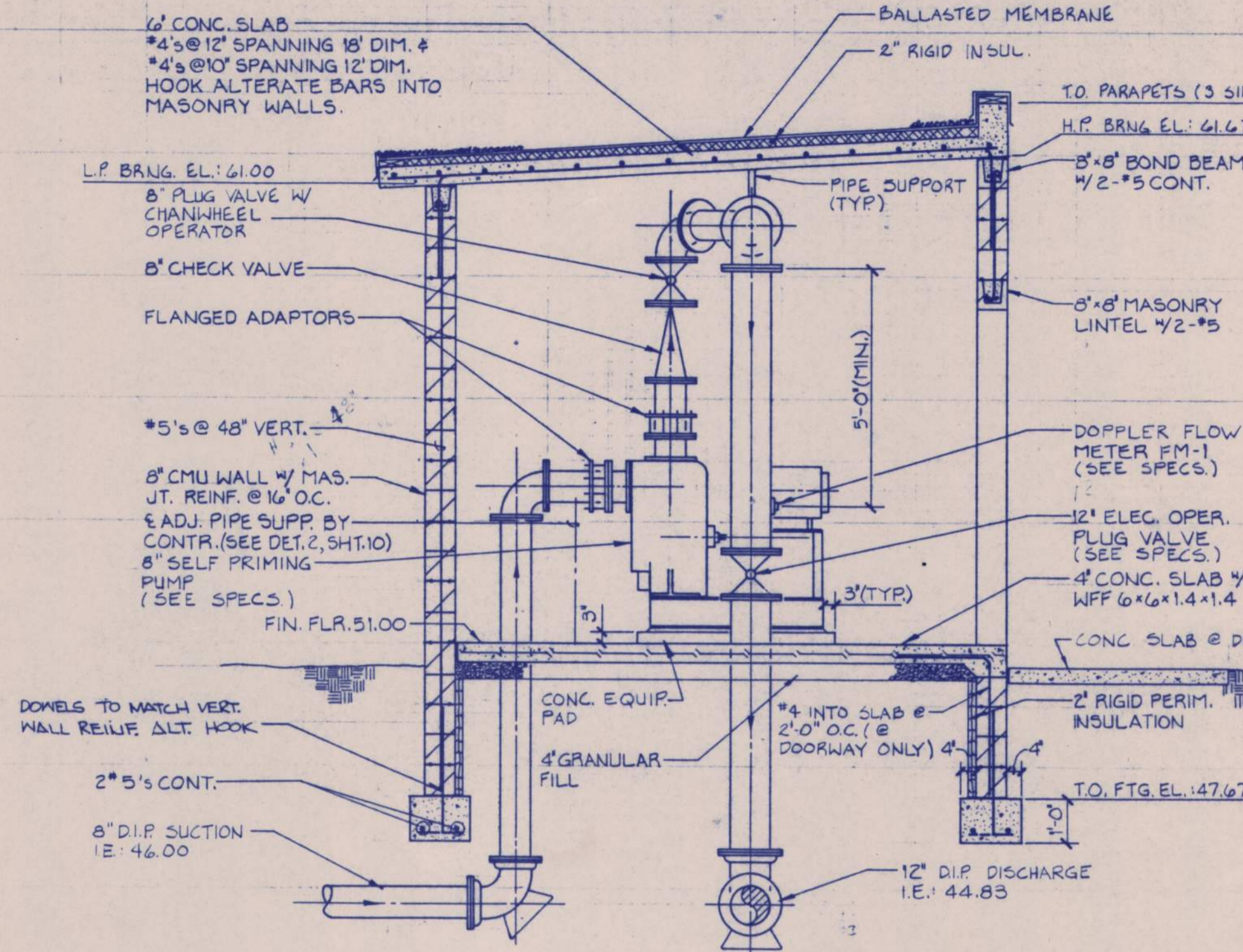
Municipal Water and Wastewater  
Industrial Water and Wastewater

### CUSTOM DESIGN

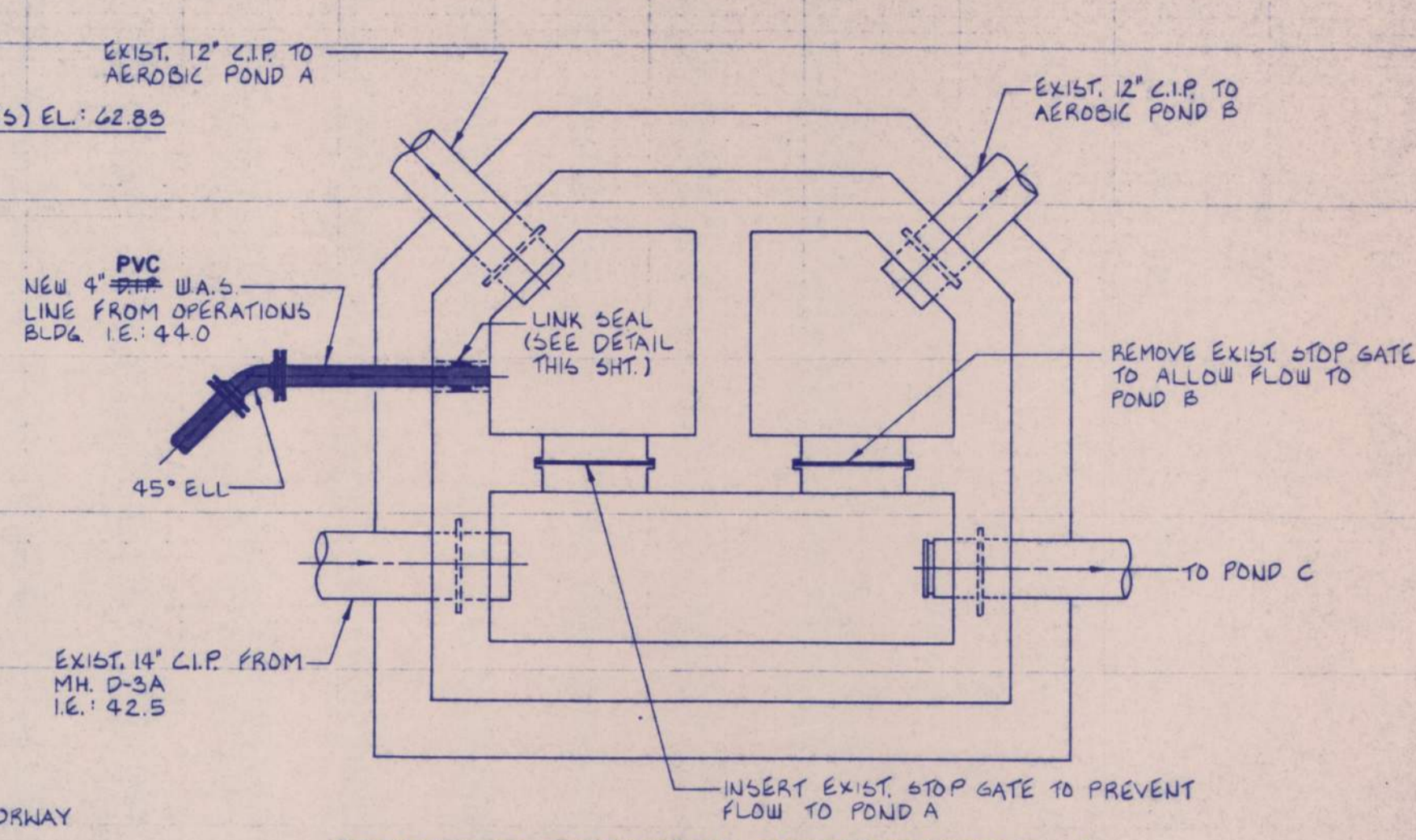
CHEMCO custom designs and fabricates each system to satisfy the process feed rate, desired concentration, and available space requirements.



**ANEROBIC EFFLUENT LIFT STATION PLAN**  
SCALE: 3/8" = 1'-0"



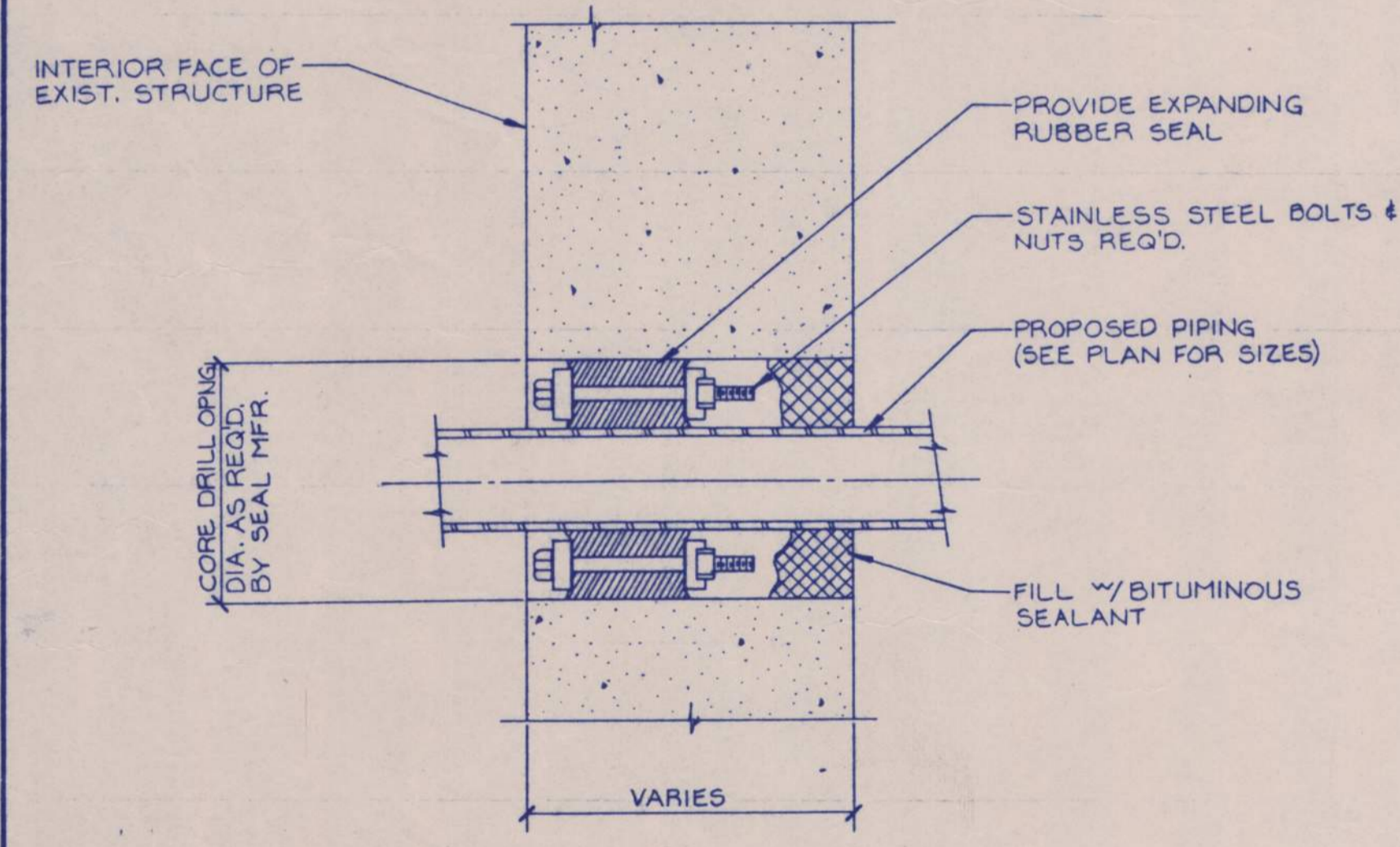
**SECTION A-A**  
SCALE: 3/8" = 1'-0"



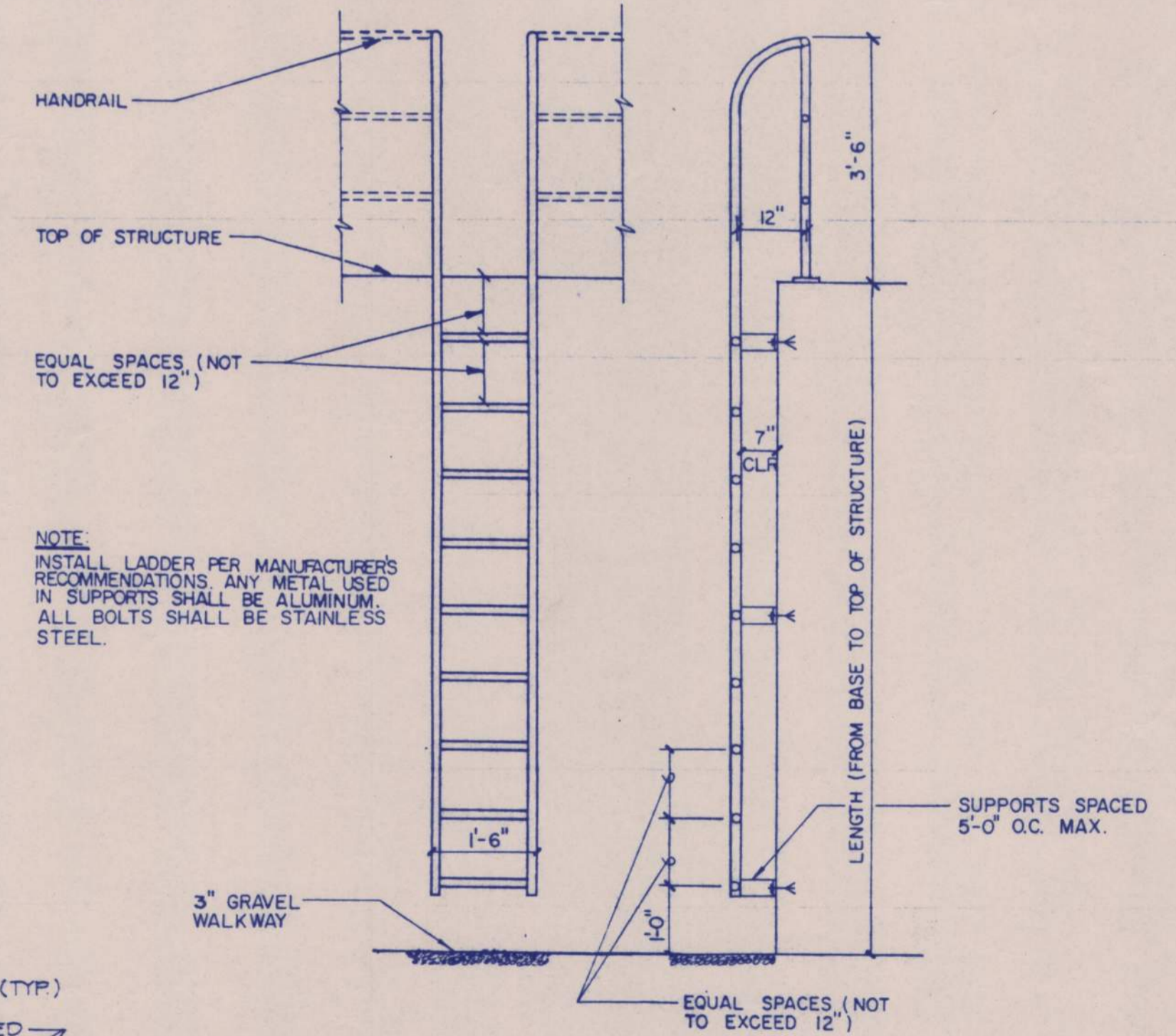
**MODIFIED CONTROL STRUCTURE D-4**  
SCALE: 3/8" = 1'-0"

REINFORCING SPLICE LENGTH SCHEDULE (INCHES)

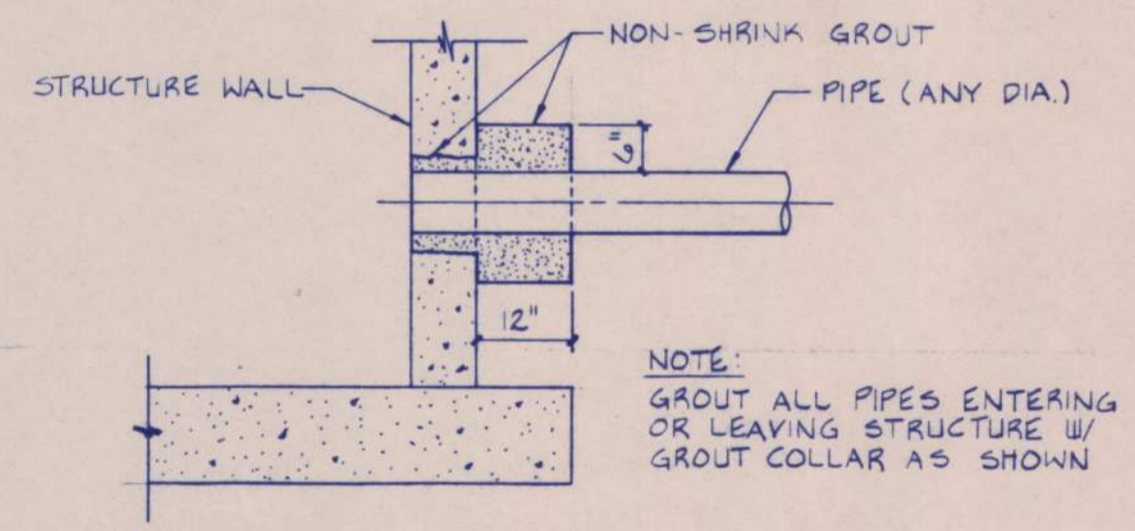
BAR SIZE	CONCRETE							MASONRY (30Bd)
	FOOTING	WALL (VERT)	WALL (HORZ)	SLAB	COLUMN	BEAM (BOT)	BEAM (TOP)	
#4	20	20	20	16	16	16	22	16
#5	26	26	26	20	20	20	27	20
#6	31	31	31	23	23	23	33	24
#7	39	39	39	30	30	30	42	27
#8	51	51	51	39	39	39	54	--
#9	65	65	65	49	49	49	69	--
#10	82	82	82	62	62	62	87	--
#11	101	101	101	77	77	77	108	--



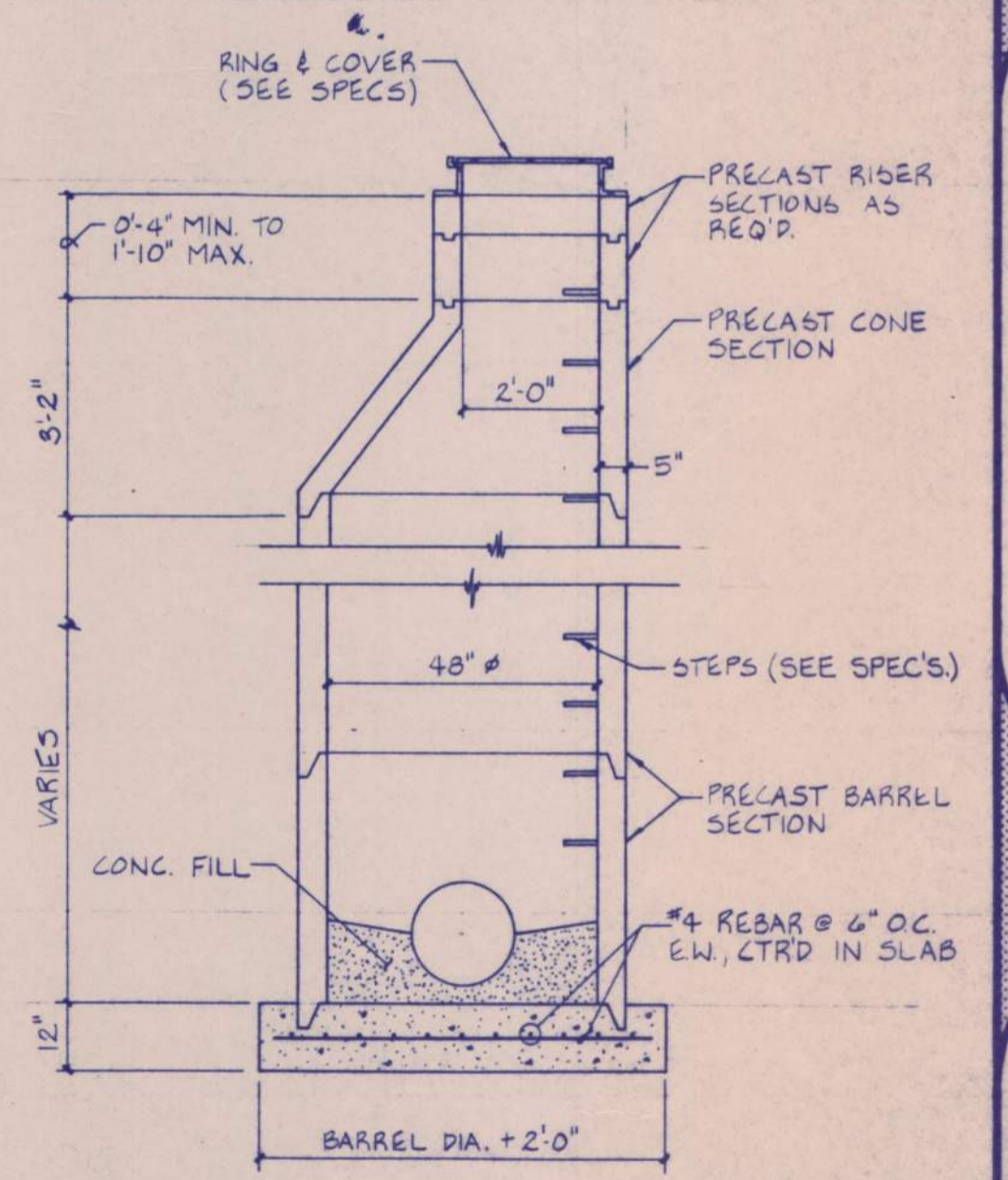
**'LINK-SEAL' EXPANDING RUBBER SEAL DETAIL (TYP.)**  
NO SCALE



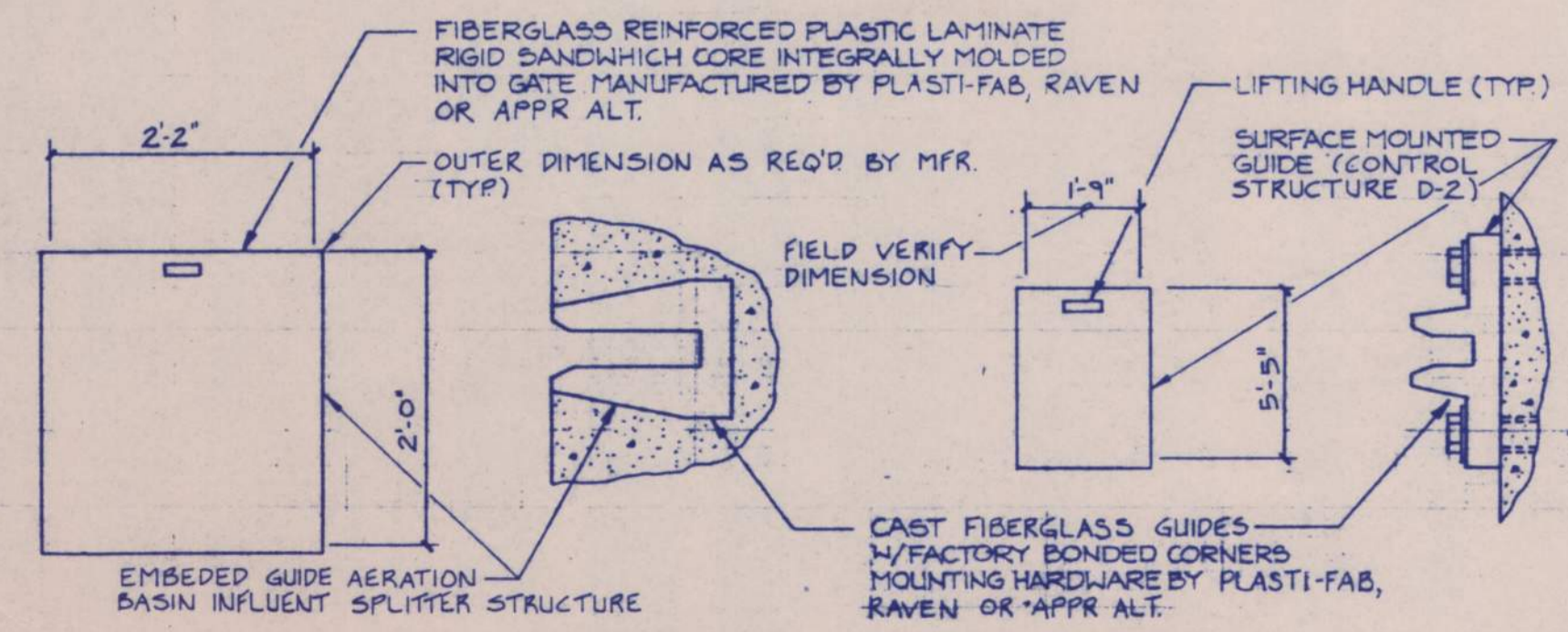
**TYP. ALUM. LADDER DETAIL**  
NO SCALE (SEE SPECS.)



**TYPICAL PIPE PENETRATION GROUT SEAL DETAIL**  
SCALE: 1/2" = 1'-0"



**TYPICAL PRECAST MANHOLE**  
SCALE: 3/8" = 1'-0"



**FIBERGLASS SLIDE GATE DETAILS**  
NO SCALE

**RECORD DRAWING**  
THIS DRAWING REFLECTS CONSTRUCTED CONDITIONS AS REPORTED BY:  
Robert L. Carr  
AND THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED BY THE ARCHITECT/ENGINEER.  
DATE: 7-12-87 BY: BLM

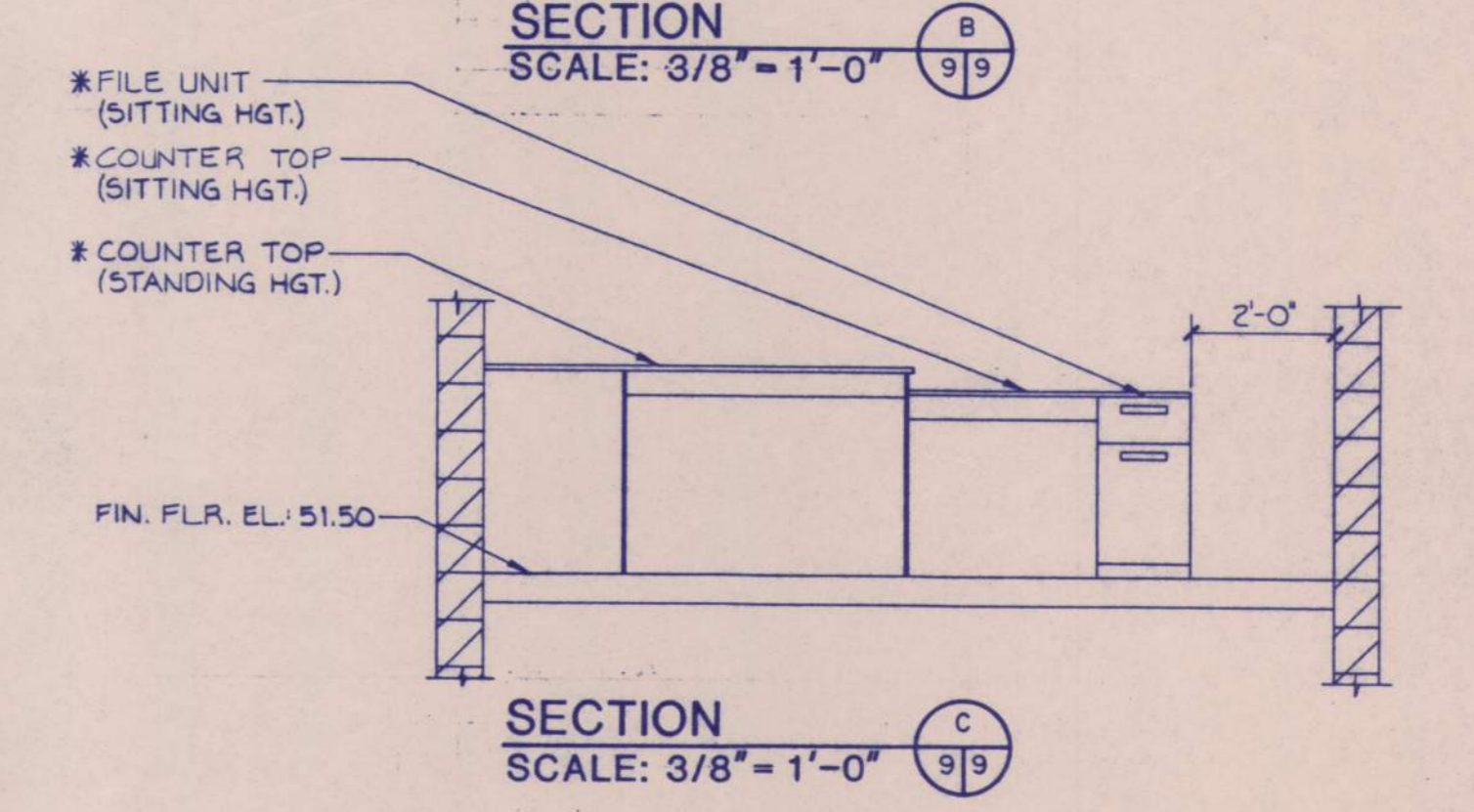
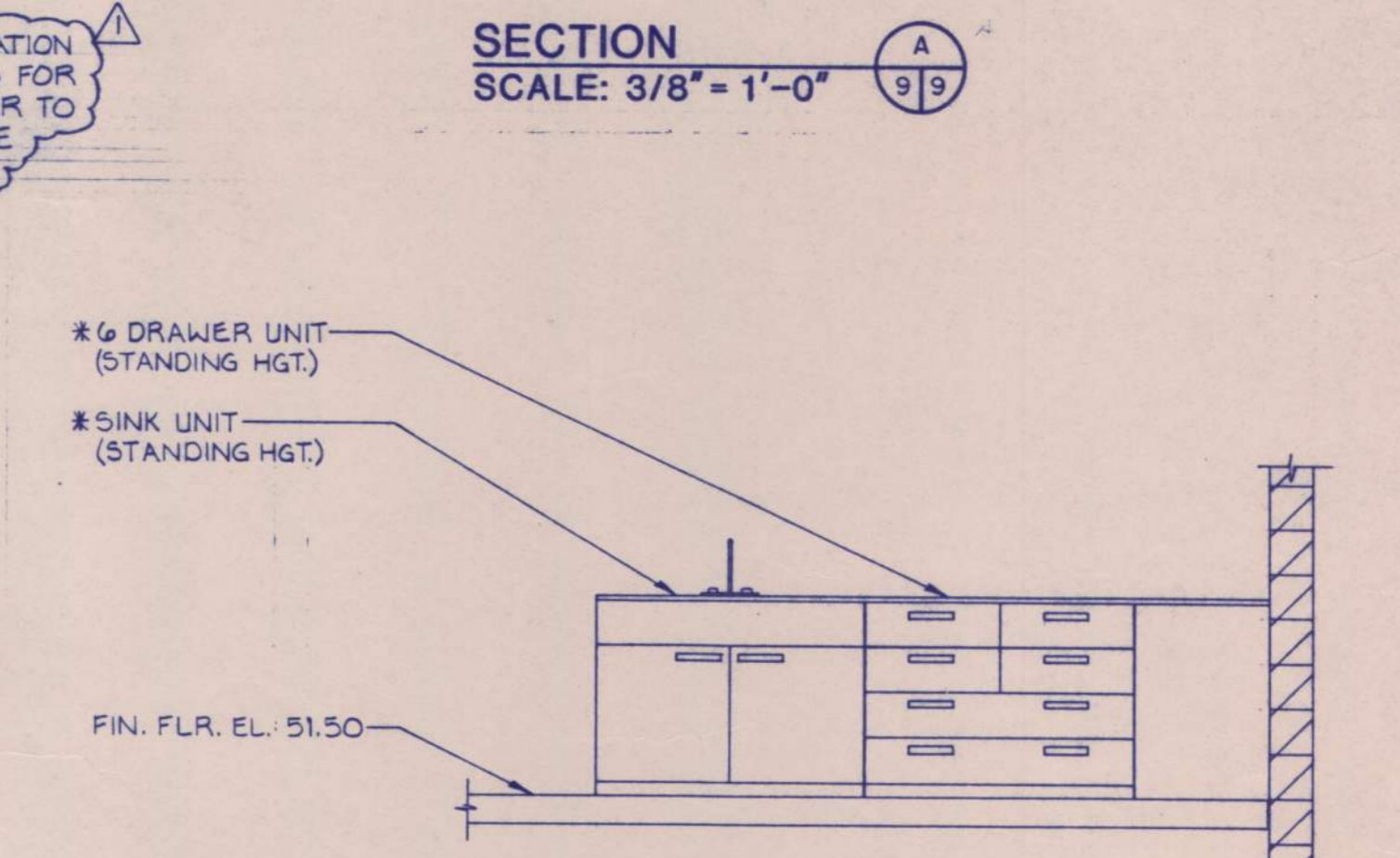
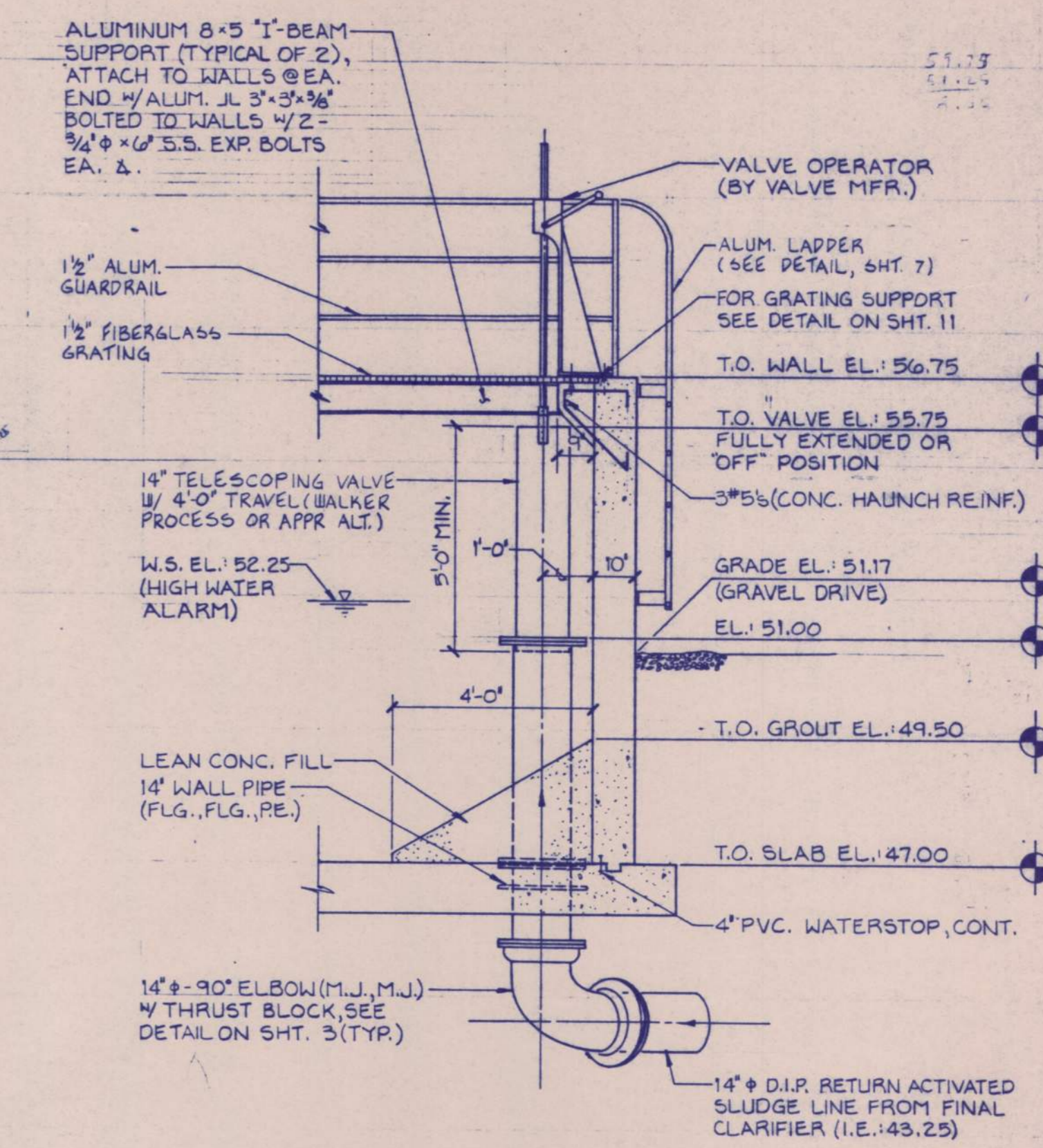
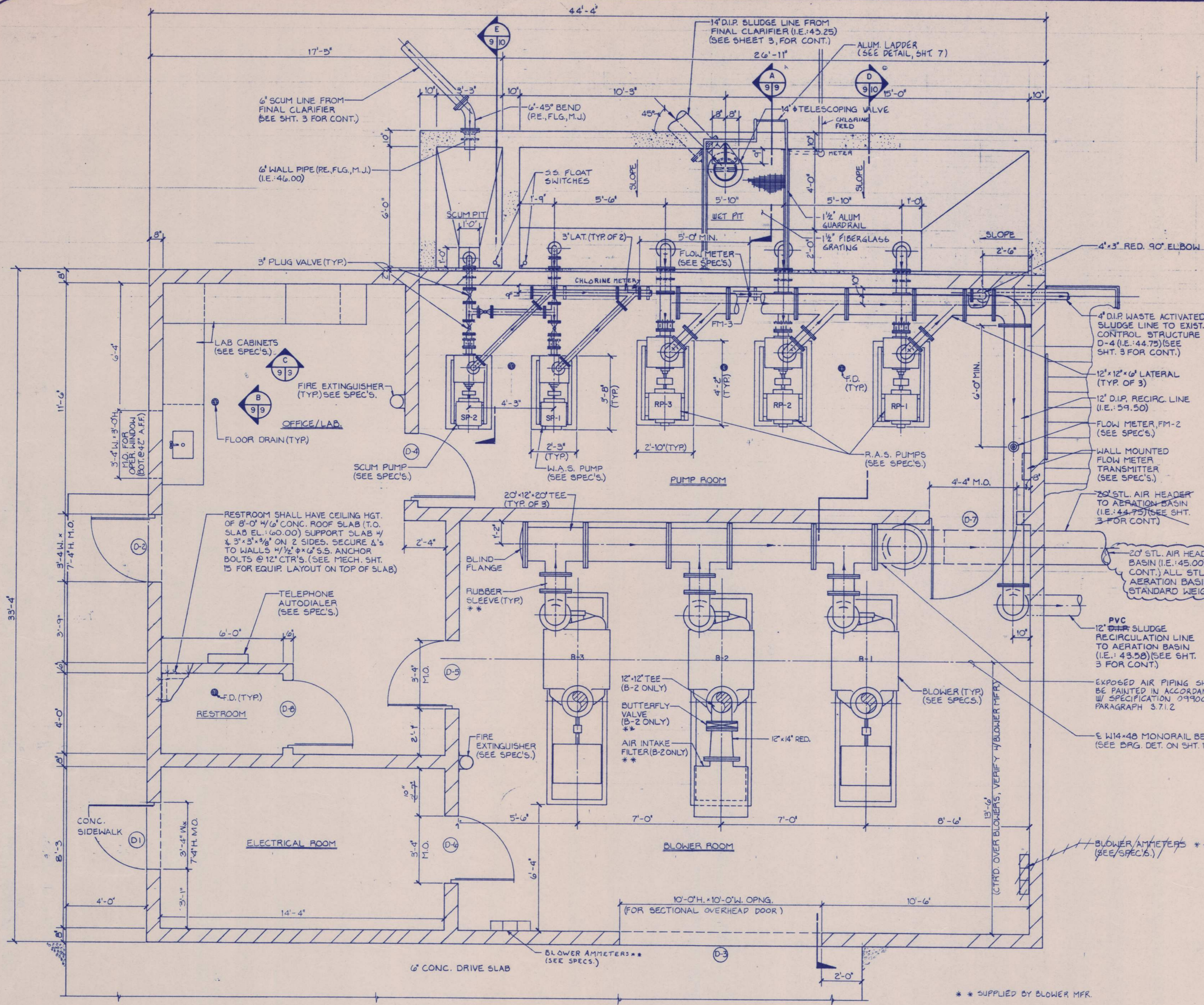
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Nebraska.  
Date: 7/21/87 Reg. No. 9461

**WELLS ENGINEERS ENVIRONMENTAL, INC.**  
OMAHA, NEBRASKA

PROJECT:  
**MODIFICATIONS TO INDUSTRIAL WASTEWATER TREATMENT FACILITIES**  
CITY OF  
WORTHINGTON, MINNESOTA

**ANEROBIC EFFLUENT LIFT STATION**

DATE: MAY 1988  
DESIGNED BY: R.J.S.  
DRAWN BY: S.R.F.  
CHECKED BY: S.L.H.  
W.E.E. NO. 880594  
REVISIONS:  
APP. 11/17/88



**OPERATIONS BUILDING-PROCESS PLAN**  
SCALE: 3/8" = 1'-0"

**SECTION A**  
SCALE: 3/8" = 1'-0"

**SECTION B**  
SCALE: 3/8" = 1'-0"

**SECTION C**  
SCALE: 3/8" = 1'-0"

\* NOTE:  
SEE SPECIFICATIONS,  
SECTION 11050 FOR  
LABORATORY EQUIPMENT  
AND FURNITURE.

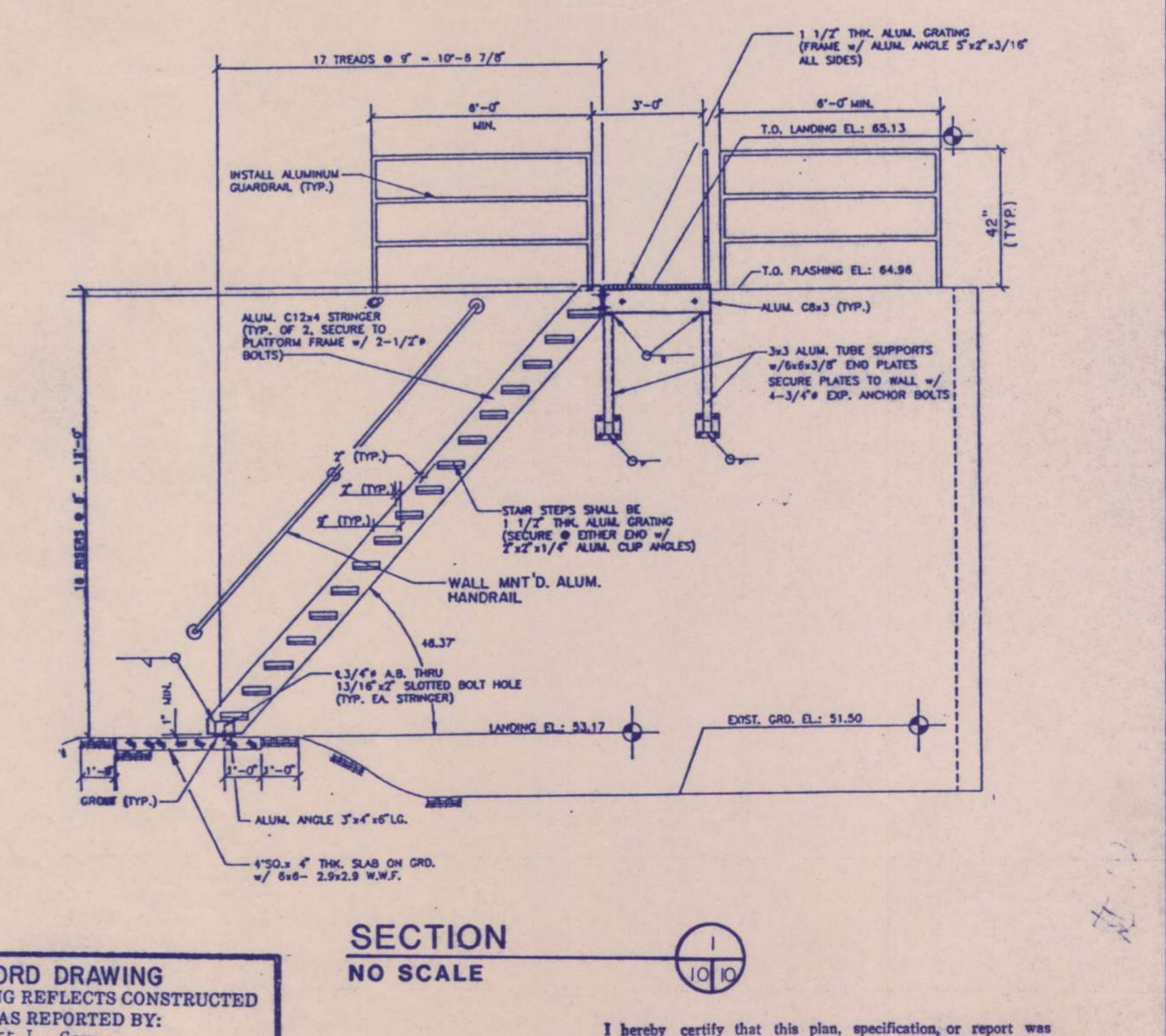
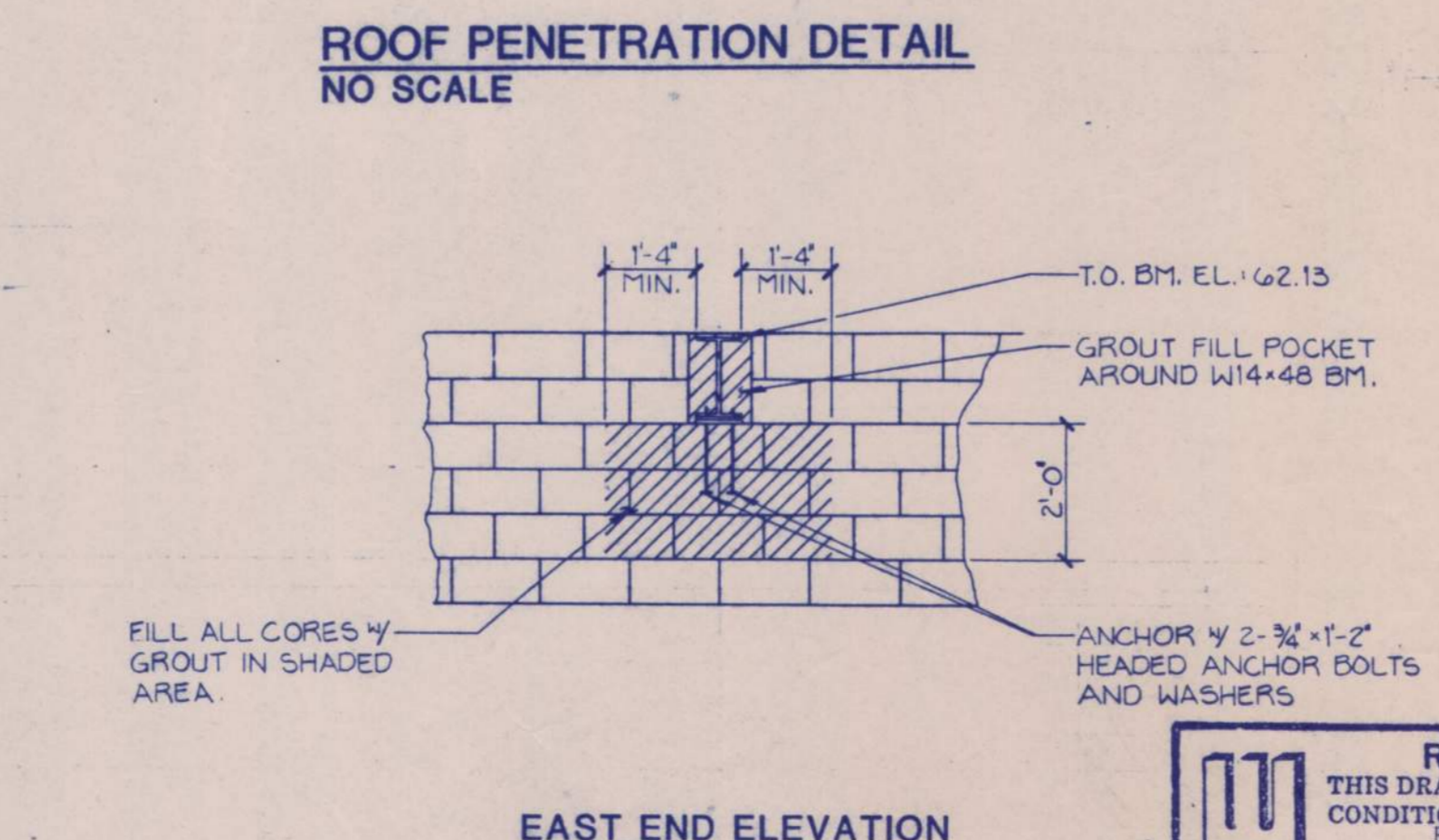
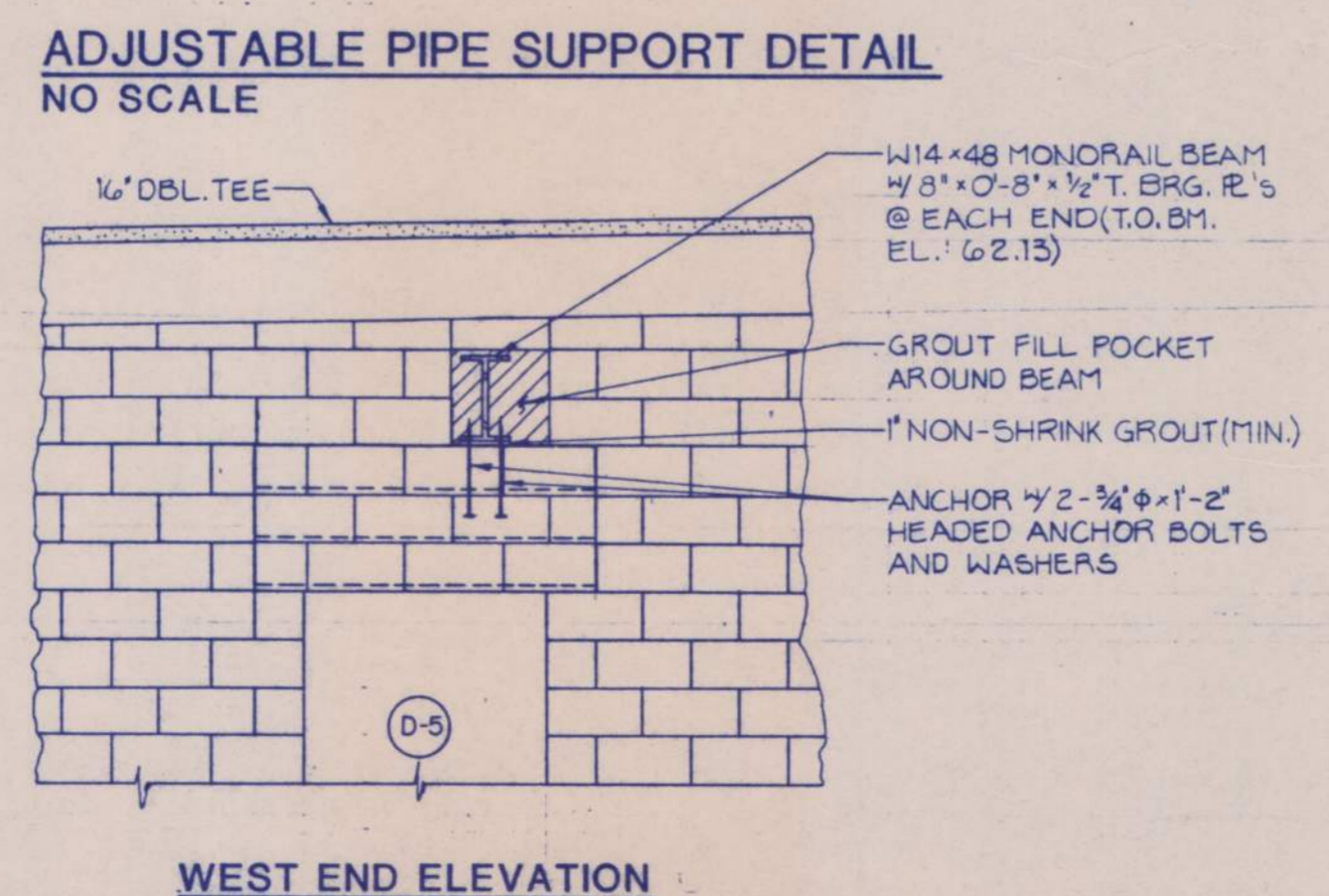
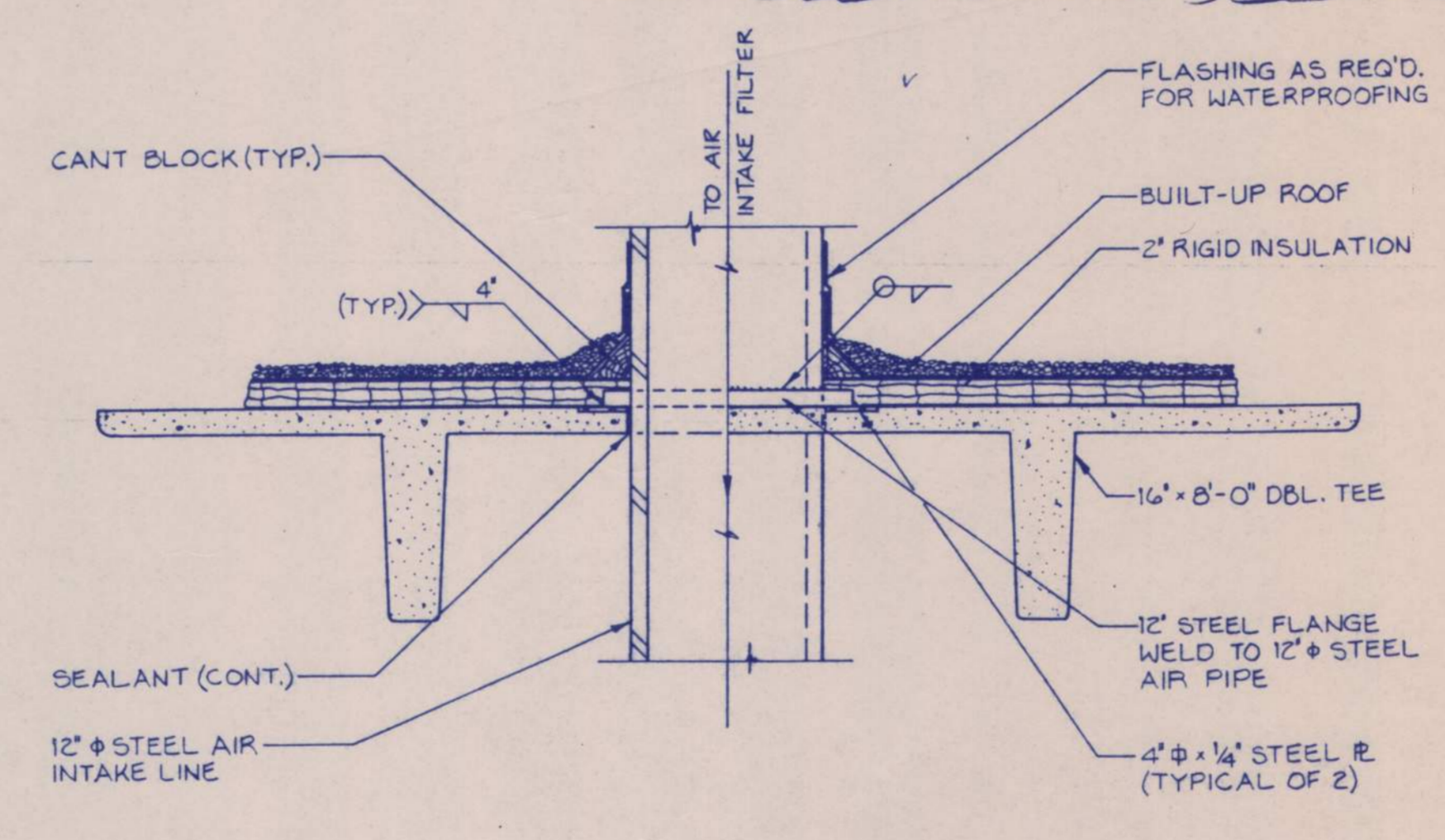
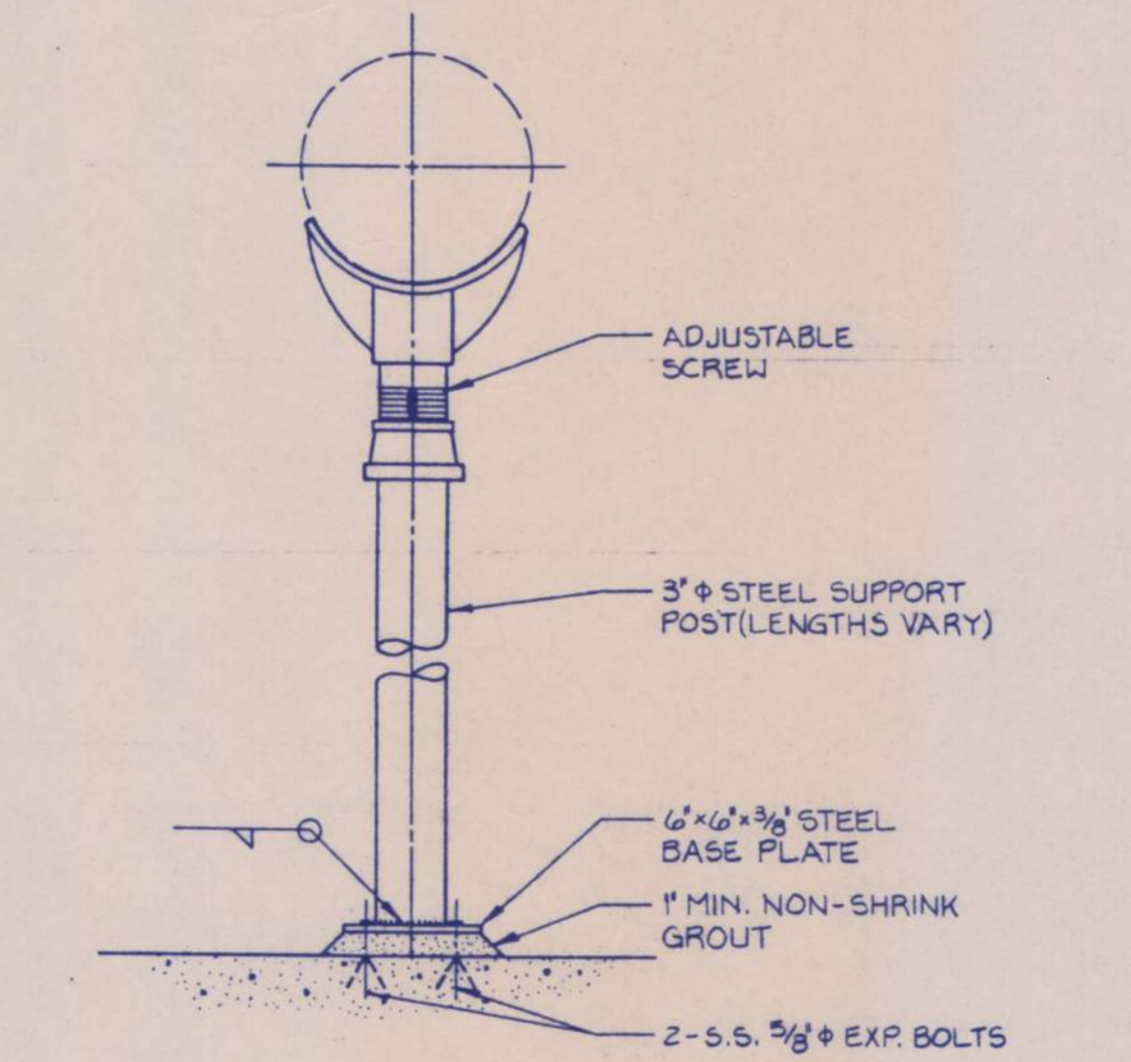
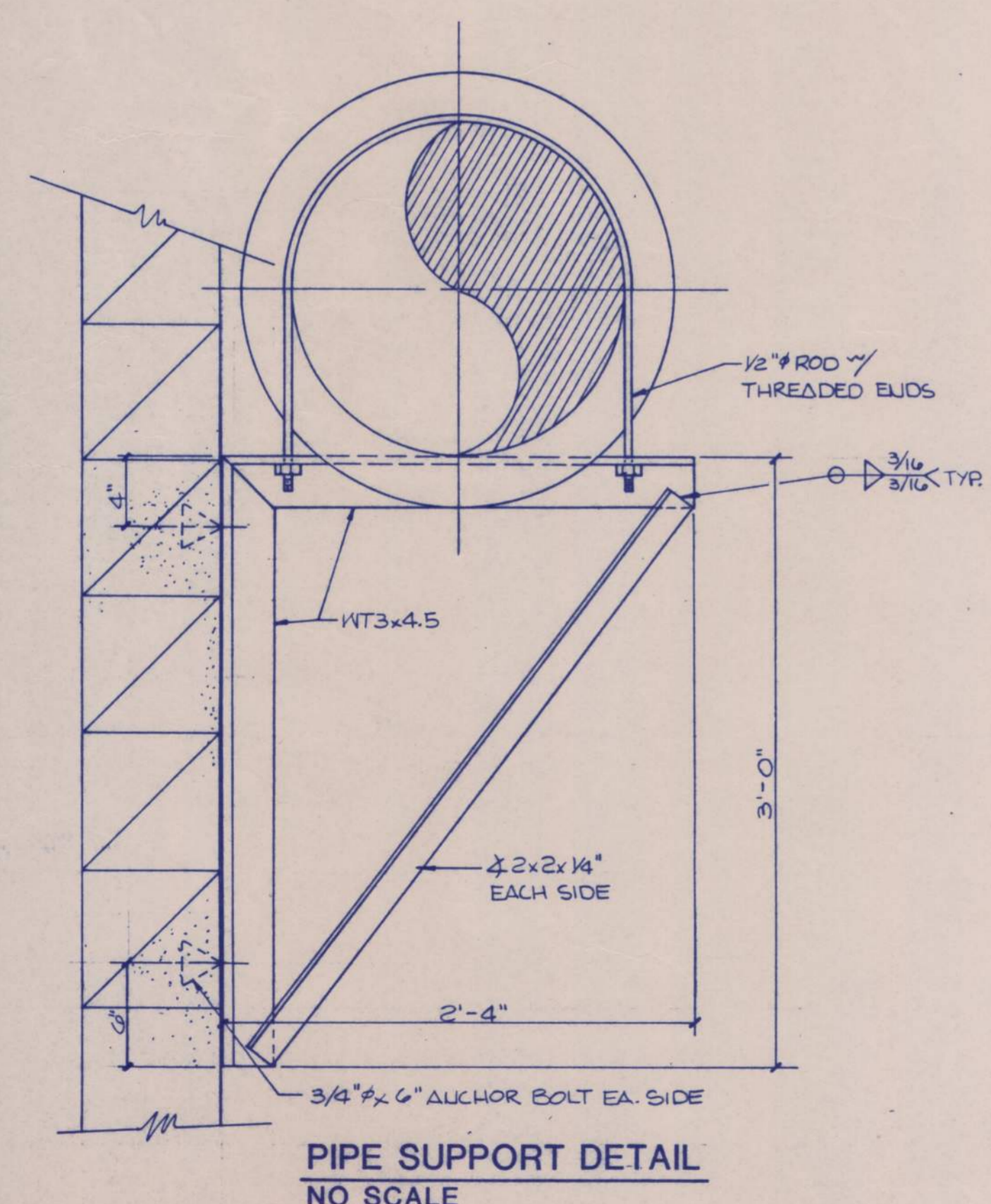
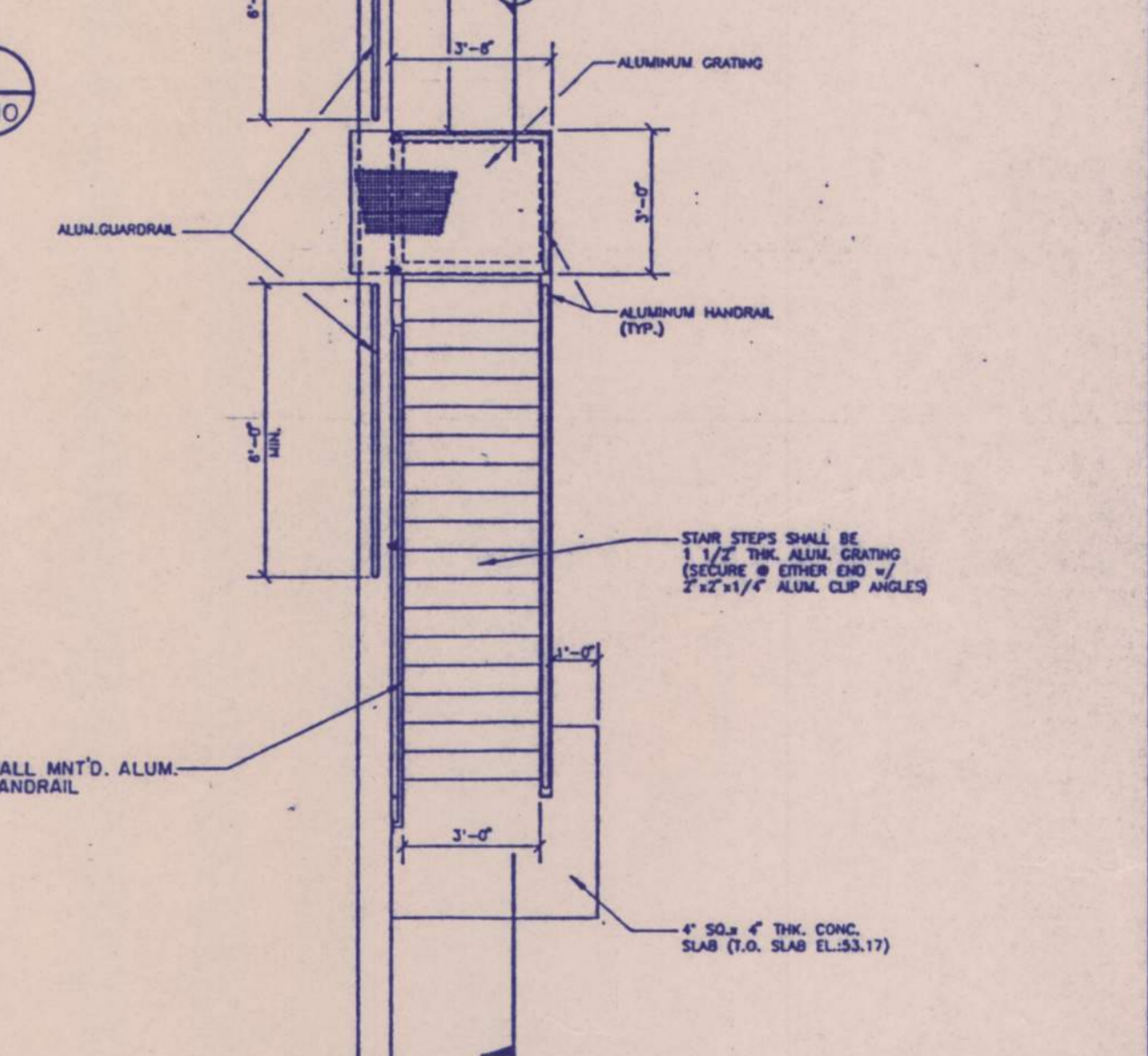
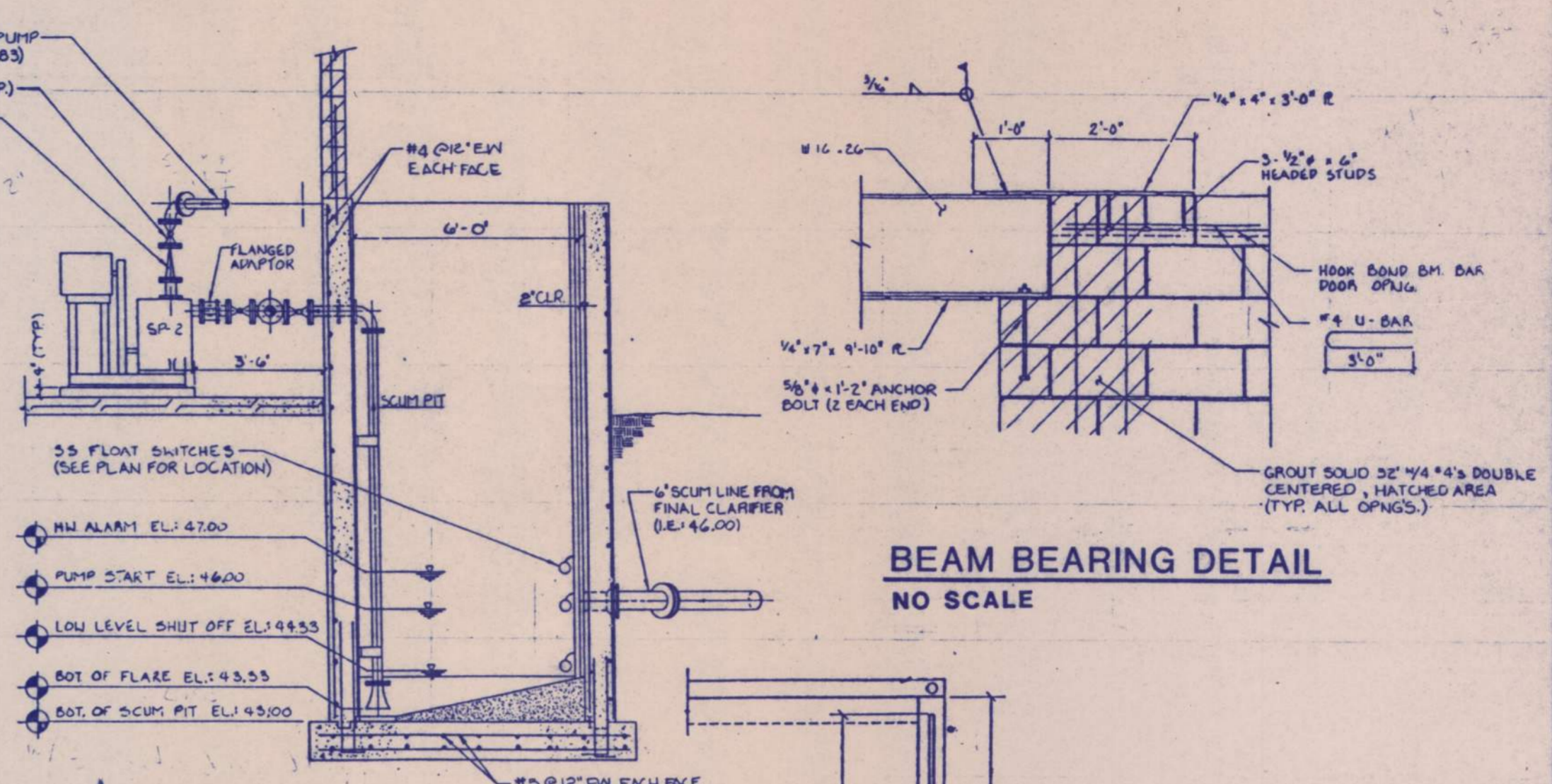
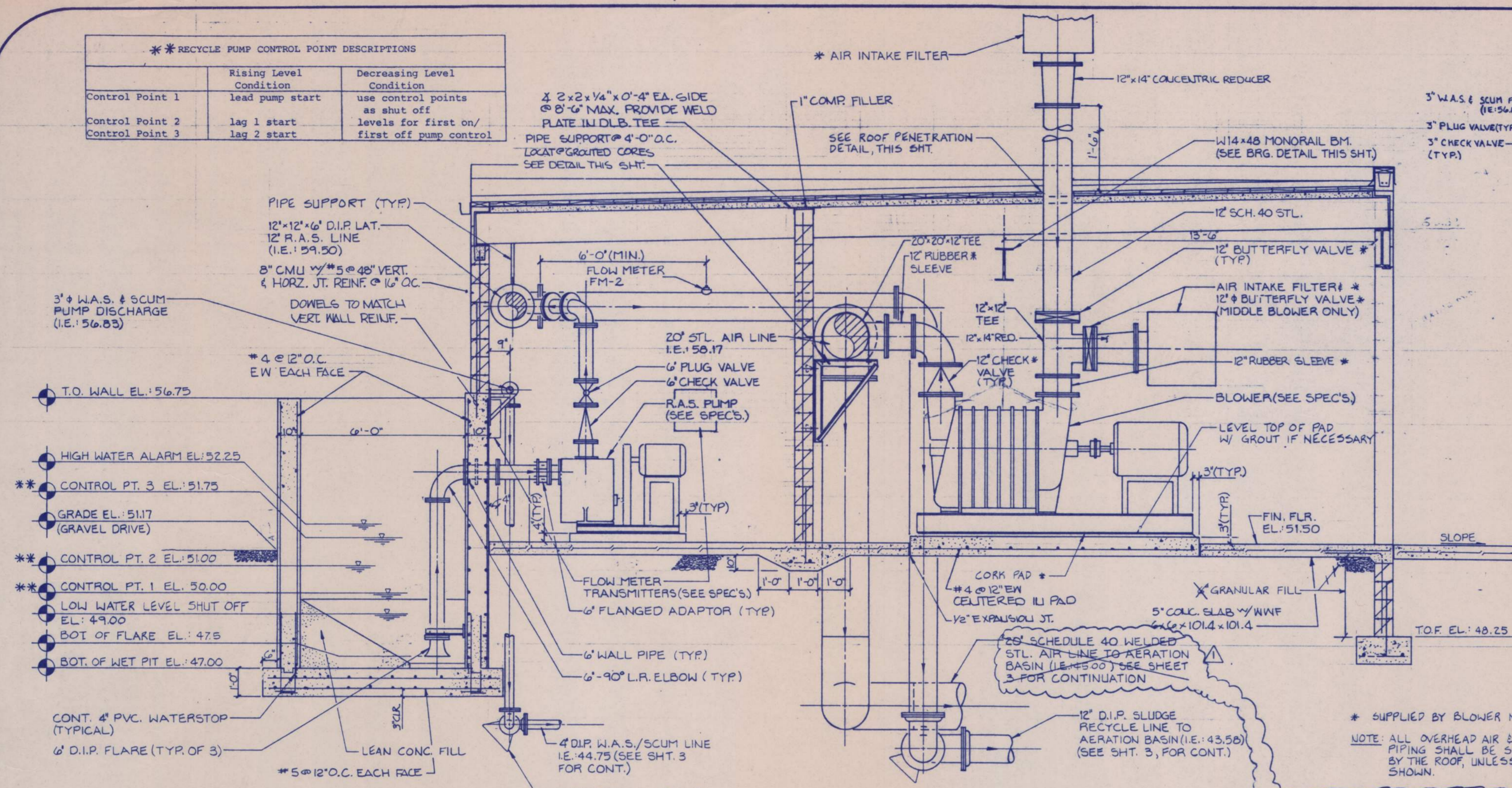
**RECORD DRAWING**  
THIS DRAWING REFLECTS CONSTRUCTED  
CONDITIONS AS REPORTED BY:  
Robert L. Carr  
AND THE ACCURACY OF THIS INFOR-  
MATION IS NOT GUARANTEED BY THE  
ARCHITECT/ENGINEER.  
DATE: 9-11-81 BY: SLC

I hereby certify that this plan, specification, or report was  
prepared by me or under my direct supervision and that  
I am a duly registered Professional Engineer under the laws  
of the State of Minnesota.  
*Robert L. Carr*  
Date: January 24, 1988 Reg. No. 0461

**WELLS ENGINEERS ENVIRONMENTAL, INC.** OMAHA, NEBRASKA  
 PROJECT: MODIFICATIONS TO INDUSTRIAL WASTEWATER TREATMENT FACILITIES CITY OF WORTHINGTON, MINNESOTA  
 OPERATIONS BUILDING PLAN AND SECTIONS  
 SHEET 9 OF 18

BRUNING 44.232 65491 03

** RECYCLE PUMP CONTROL POINT DESCRIPTIONS		
Control Point	Rising Level Condition	Decreasing Level Condition
Control Point 1	lead pump start	use control points as shut off levels for first on/first off pump control
Control Point 2	lag 1 start	
Control Point 3	lag 2 start	



**MONORAIL BEAM BEARING DETAIL**  
SCALE: 3/8" = 1'-0"

**RECORD DRAWING**  
THIS DRAWING REFLECTS CONSTRUCTED CONDITIONS AS REPORTED BY:  
Robert L. Carr  
AND THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED BY THE ARCHITECT/ENGINEER.  
DATE 9-12-71 BY SLH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.  
Date 10/21/71  
Reg. No. 8461

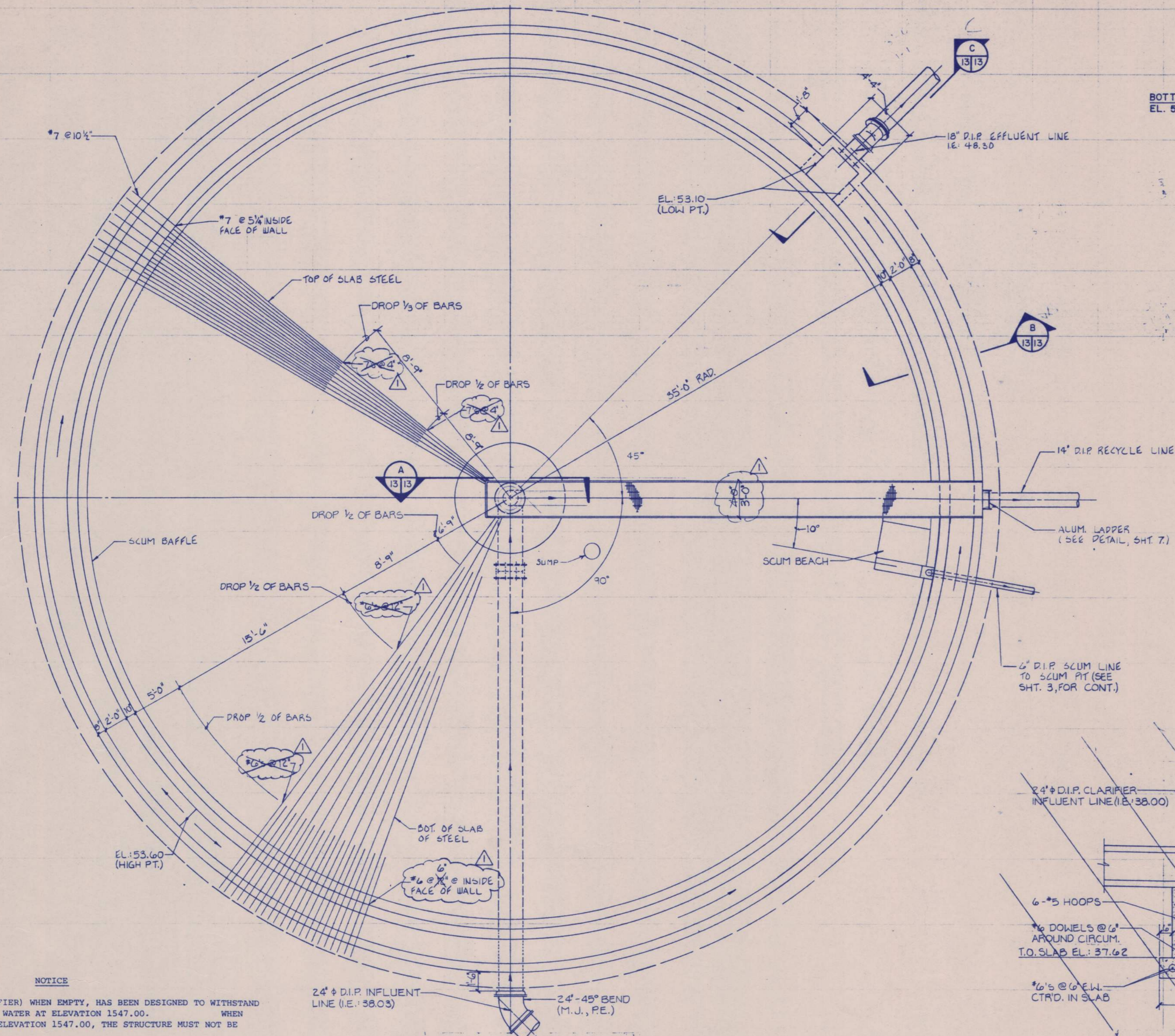
**WELLS ENGINEERS ENVIRONMENTAL, INC.**  
OMAHA, NEBRASKA

PROJECT: MODIFICATIONS TO INDUSTRIAL WASTEWATER TREATMENT FACILITIES  
CITY OF WORTHINGTON, MINNESOTA

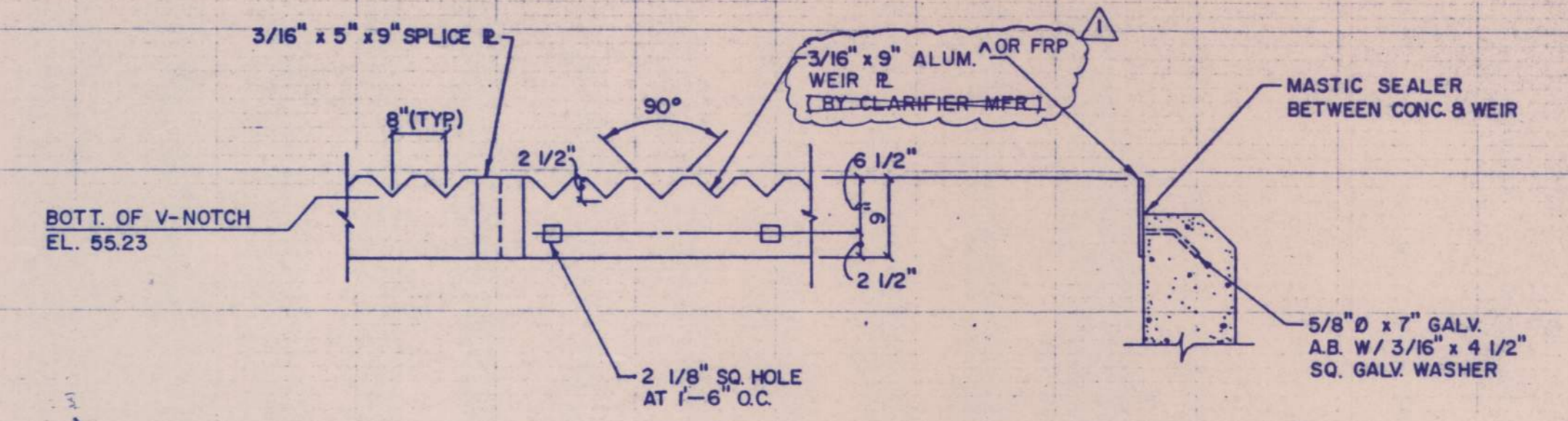
OPERATIONS BUILDING SECTIONS AND DETAILS

SHEET 10 OF 18



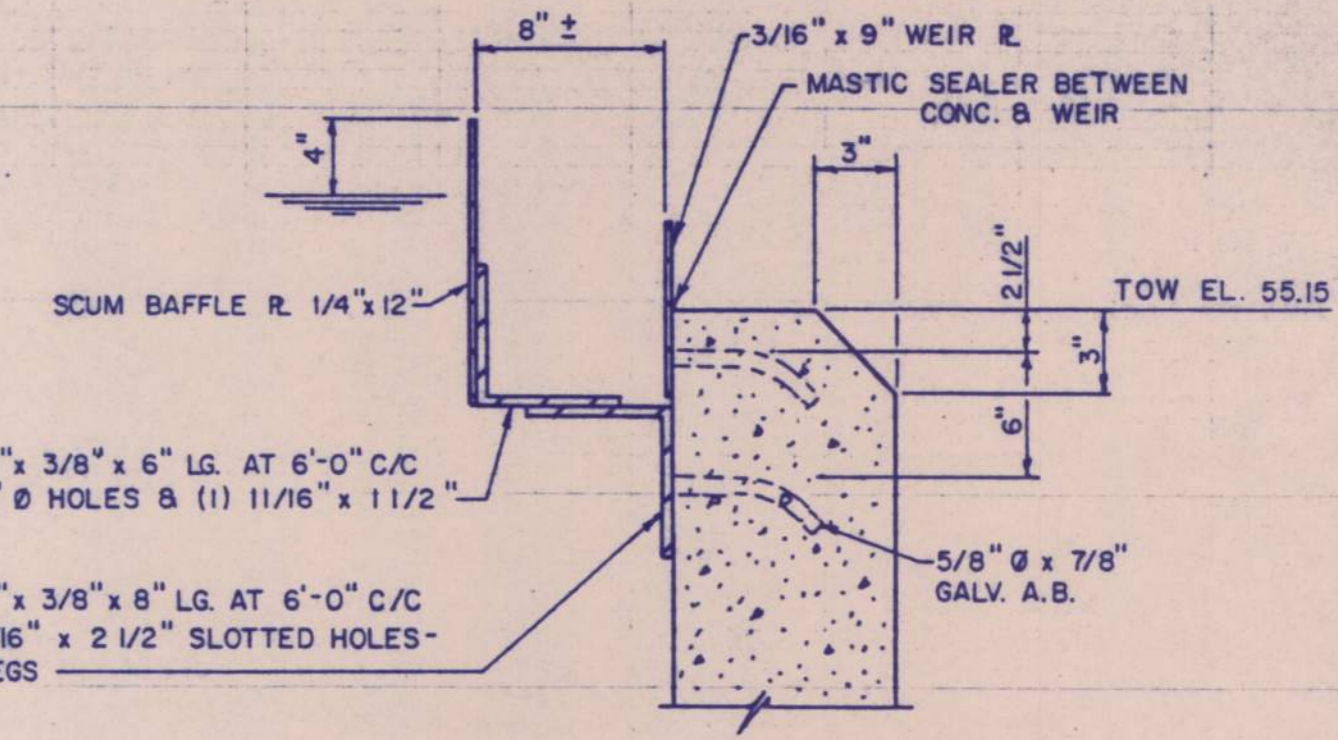


**FINAL CLARIFIER - PLAN**  
SCALE: 3/16" = 1'-0"

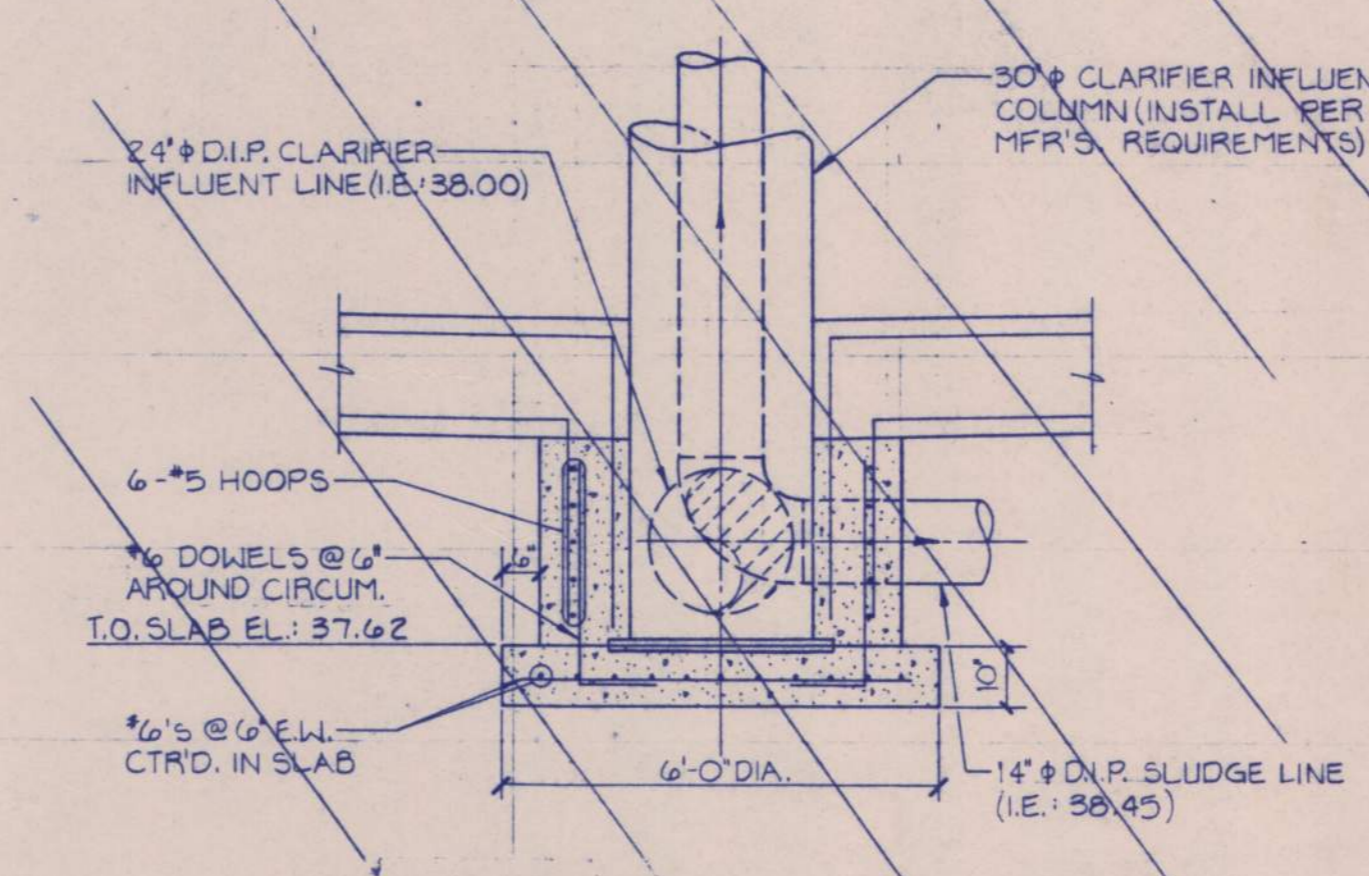


**\* WEIR DETAIL**  
NO SCALE

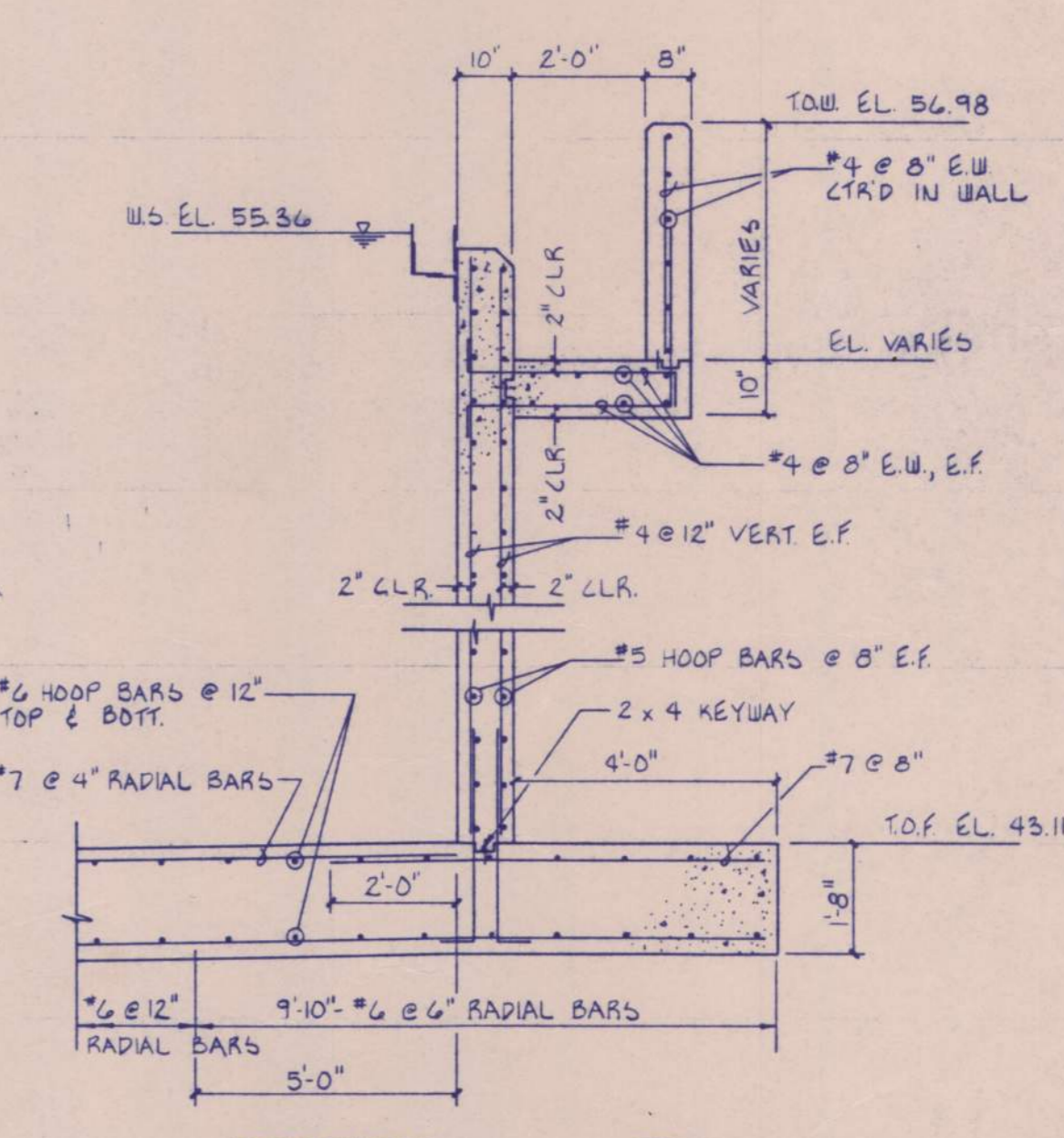
**\* NOTE:** CLARIFIER MFR DRAWINGS TAKE PRECEDENCE OVER THESE GENERAL INSTALLATION DETAILS.



**\* SCUM BAFFLE DETAIL**  
NO SCALE

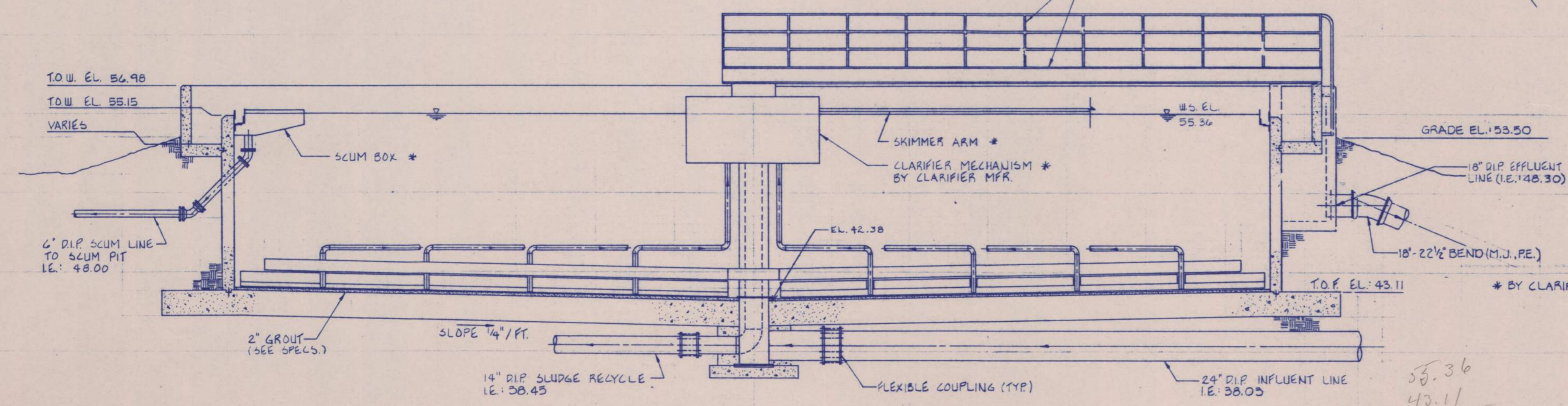


**SECTION A-A**  
SCALE: 3/8" = 1'-0"



**SECTION B-B**  
SCALE: 3/8" = 1'-0"

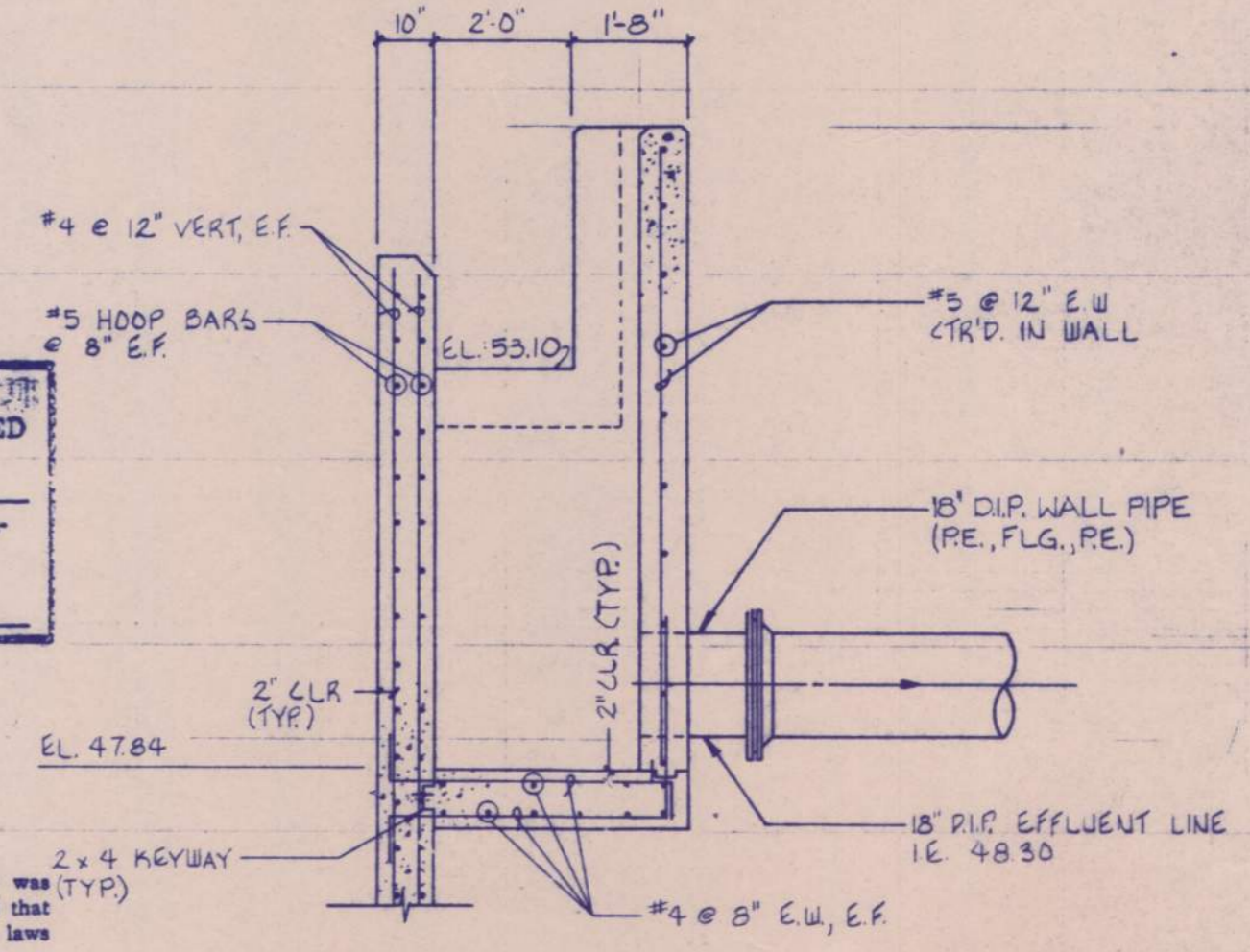
**NOTICE**  
THIS STRUCTURE (FINAL CLARIFIER) WHEN EMPTY, HAS BEEN DESIGNED TO WITHSTAND THE BUOYANT FORCE OF GROUND WATER AT ELEVATION 1547.00. WHEN GROUND WATER LEVEL EXCEEDS ELEVATION 1547.00, THE STRUCTURE MUST NOT BE DRAINED.  
FLOTATION PROTECTION DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR SINCE DURING CONSTRUCTION, BUOYANT FORCES MAY RESULT IN CONDITIONS DIFFERENT THAN THOSE OF THE DESIGN.



**CLARIFIER - COMPOSITE SECTION**  
SCALE: 3/16" = 1'-0"

**RECORD DRAWING**  
THIS DRAWING REFLECTS CONSTRUCTED CONDITIONS AS REPORTED BY:  
Robert L. Gatt  
AND THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED BY THE ARCHITECT/ENGINEER.  
DATE: 9-12-91 BY: SCM

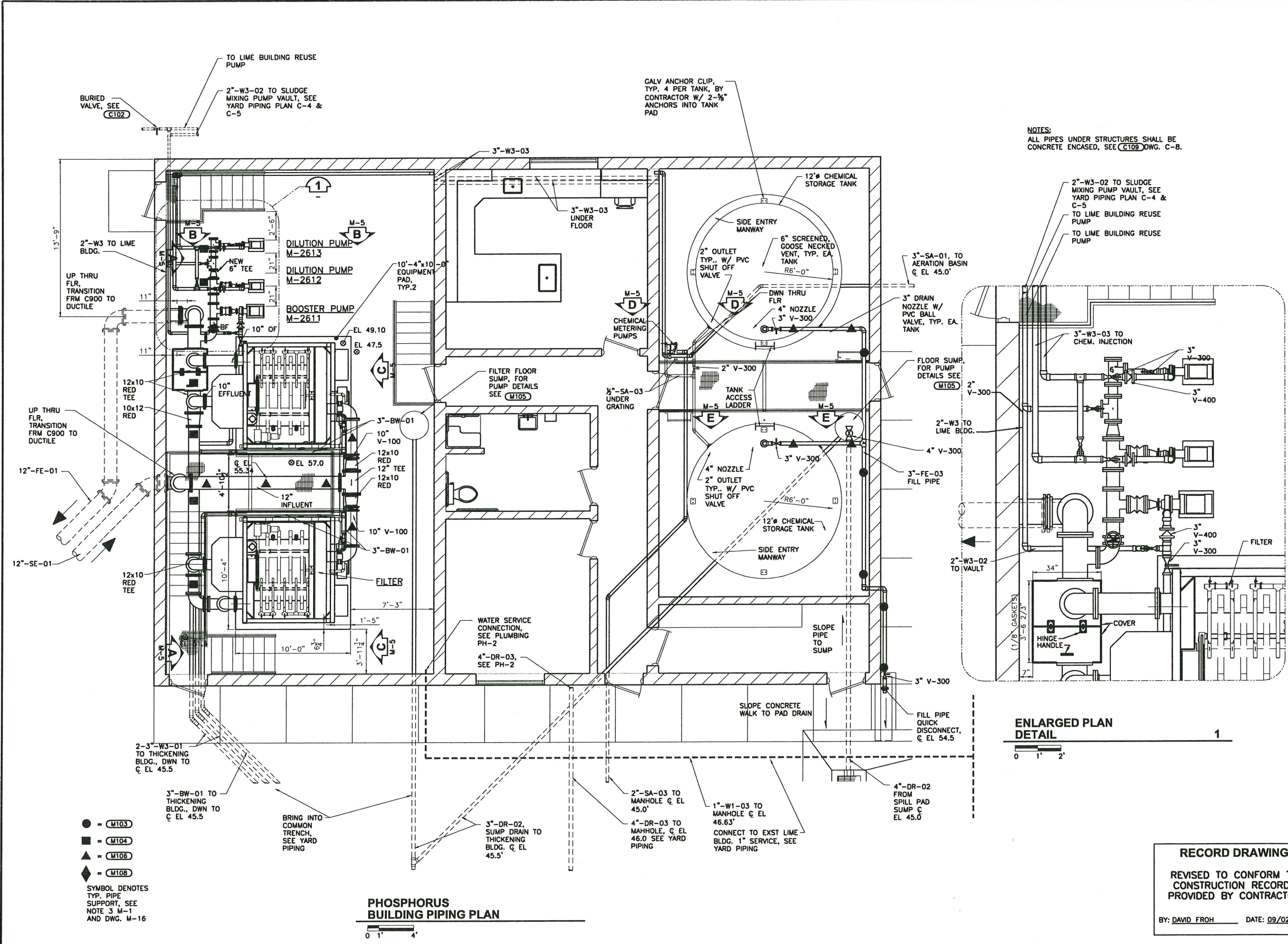
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.  
Date: 9-2-1991 Reg. No. 9461



**SECTION C-C**  
SCALE: 3/8" = 1'-0"

**WELLS ENGINEERS ENVIRONMENTAL, INC.**  
 OMAHA, NEBRASKA  
 PROJECT: MODIFICATIONS TO INDUSTRIAL WASTEWATER TREATMENT FACILITIES  
 CITY OF WORTHINGTON, MINNESOTA  
 FINAL CLARIFIER PLAN, SECTIONS AND DETAILS  
 DATE: MAY 1988  
 DESIGNED BY: R.J.S.  
 DRAWN BY: W.C.O.  
 CHECKED BY: S.L.H.  
 W.E.E. NO.: 880594  
 REVISIONS:  
 1. ADD 3.10-20-88  
 SHEET **13** OF **18**





NOTES:  
ALL PIPES UNDER STRUCTURES SHALL BE CONCRETE ENCASED, SEE (C109) DWG. C-8.



● = (M103)  
■ = (M104)  
▲ = (M106)  
◆ = (M108)  
SYMBOL DENOTES TYP. PIPE SUPPORT, SEE NOTE 3 M-1 AND DWG. M-16

**PHOSPHORUS BUILDING PIPING PLAN**  
0 1' 4'

**RECORD DRAWING**  
REVISED TO CONFORM TO CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR  
BY: DAVID FROH DATE: 09/02/2004

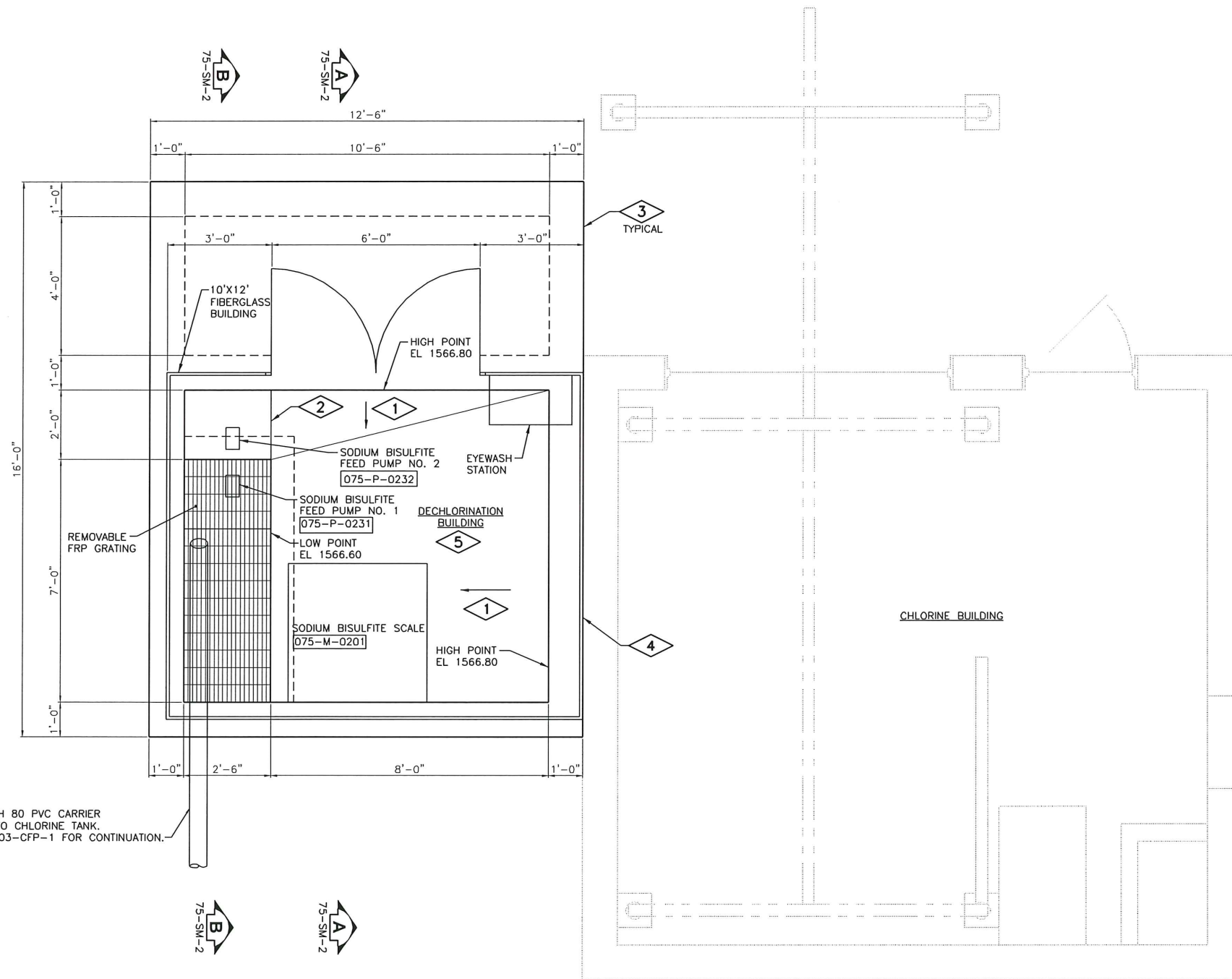
Date	
Checked By	
Drawn By	
Revision Description	
Revision Number	
Designed By	P.U.
Drawn By	J.R.H.
Checked By	R.D.P.
Approved By	B.S.B.
Filename	100MP01.DWG
Project No.	10571
Project Date	FEB 2003

I hereby certify that this plan, specifications, or report was prepared by or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
Signature: \_\_\_\_\_  
Printed Name: Bradley Scott Bjerke  
Date: 02/28/03 Reg. No. 19993

**WORTHINGTON INDUSTRIAL TREATMENT FACILITY  
WASTEWATER TREATMENT IMPROVEMENTS  
PHOSPHORUS REMOVAL AND SLUDGE HANDLING  
WORTHINGTON, MINNESOTA**  
**PHOSPHORUS BUILDING  
PIPING PLAN**

**Worthington Minnesota**  
**DONOHUE ASSOCIATES**  
Sheet No. 31  
Drawing No. M-4





6" SCH 80 PVC CARRIER PIPE TO CHLORINE TANK. SEE 003-CFP-1 FOR CONTINUATION.

**GENERAL NOTES:**

- SEE DWG. NO. 009-N-2 FOR CHEMICAL FEED PIPING DETAILS

**PLAN NOTES:**

- SLOPE FLOOR SLAB TO CONTAINMENT SUMP 1/4"/FT MIN.
- STAINLESS STEEL FEED PUMP TABLE. REFER TO SPEC. SECTION 05500.
- PROVIDE PREFORMED JOINT FILLER BETWEEN BUILDING FOUNDATION PAD AND ADJACENT SIDEWALK.
- PROVIDE PREFORMED JOINT FILLER BETWEEN BUILDING FOUNDATION PAD AND EXISTING BUILDING. CAULK JOINT PER SPEC. SECTION 07920.
- COAT INTERIOR CONCRETE BUILDING SLAB AND CHEMICAL CONTAINMENT AREA CONCRETE WALLS AND SLAB WITH SYSTEM NO. 21. PROVIDE HAND BROADCAST ANTI-SKID AGGREGATE ON BUILDING SLAB WHILE COATING IS STILL WET.

**PLAN**



Revision Number	Description	Drawn By	Checked By	Date
	CONFORMED DRAWINGS	EJM	EJM	04/01/13

Designed By	LCK/SJG
Drawn By	LCK/SJG
Checked By	EJM/PJE
Approved By	EJM
Filename	75MP1.DWG
Project No.	12357
Project Date	02/14/13

CITY OF WORTHINGTON  
 DECHLORINATION SYSTEM IMPROVEMENTS  
 MUNICIPAL WWTF & INDUSTRIAL WWTF  
 WORTHINGTON, MN  
 MUNICIPAL WWTF  
 DECHLORINATION BUILDING-PLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Phil Englebert*  
 TYPE OR PRINTED NAME: PHIL ENGLEBERT  
 DATE: 02/14/2013 REG. NO. 17919

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

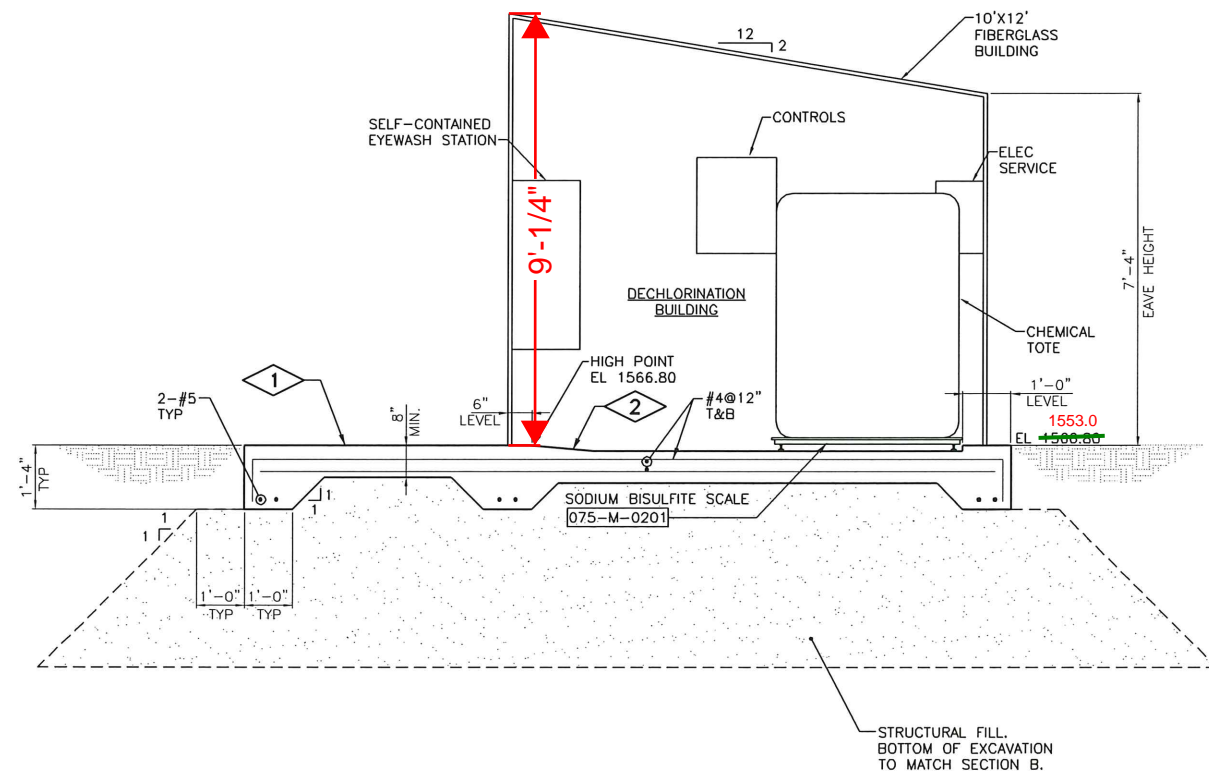
SIGNATURE: *Eric Meester*  
 TYPE OR PRINTED NAME: ERIC MEESTER  
 DATE: 02/14/2013 REG. NO. 40697



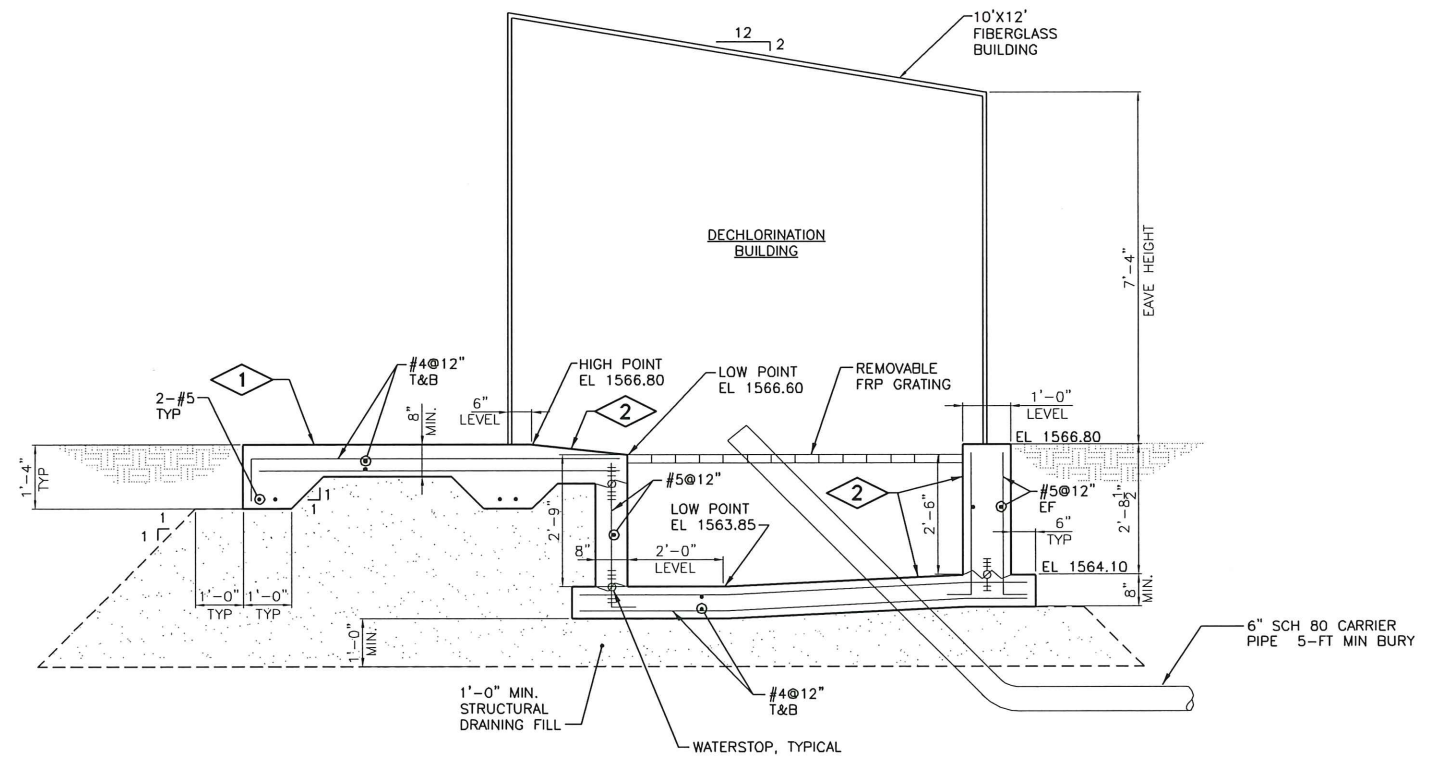
Sheet No. 13  
 Drawing No. 75-SM-1

**PLAN NOTES:**

1. SLOPE EXTERIOR SLAB AWAY FROM BUILDING 1/4"/FT MIN.
2. COAT INTERIOR CONCRETE BUILDING SLAB AND CHEMICAL CONTAINMENT AREA CONCRETE WALLS AND SLAB WITH SYSTEM NO. 21. PROVIDE HAND BROADCAST ANTI-SKID AGGREGATE ON BUILDING SLAB WHILE COATING IS STILL WET.



**SECTION A**  
75-SM-1  
0 1' 2'



**SECTION B**  
75-SM-1  
0 1' 2'

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Phil Englebort*  
TYPE OR PRINTED NAME: PHIL ENGLEBERT  
DATE: 02/14/2013 REG. NO. 17919

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Eric Meester*  
TYPE OR PRINTED NAME: ERIC MEESTER  
DATE: 02/14/2013 REG. NO. 40697

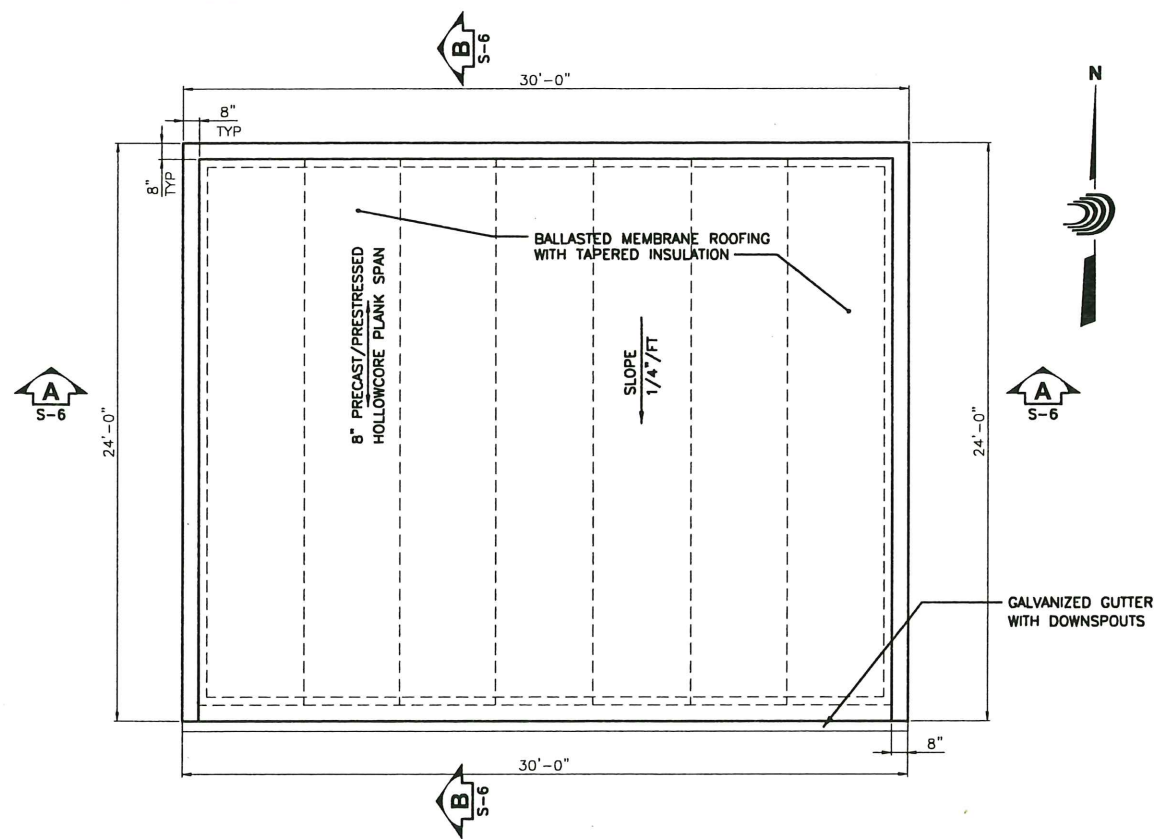
Revision Number	Description	Drawn By	Checked By	Date
	CONFORMED DRAWINGS	EJM	EJM	04/01/13

Designed By	LCK/SJG
Drawn By	LCK/SJG
Checked By	EJM/PJE
Approved By	EJM
Filename	75MSEC1.DWG
Project No.	12357
Project Date	02/14/13

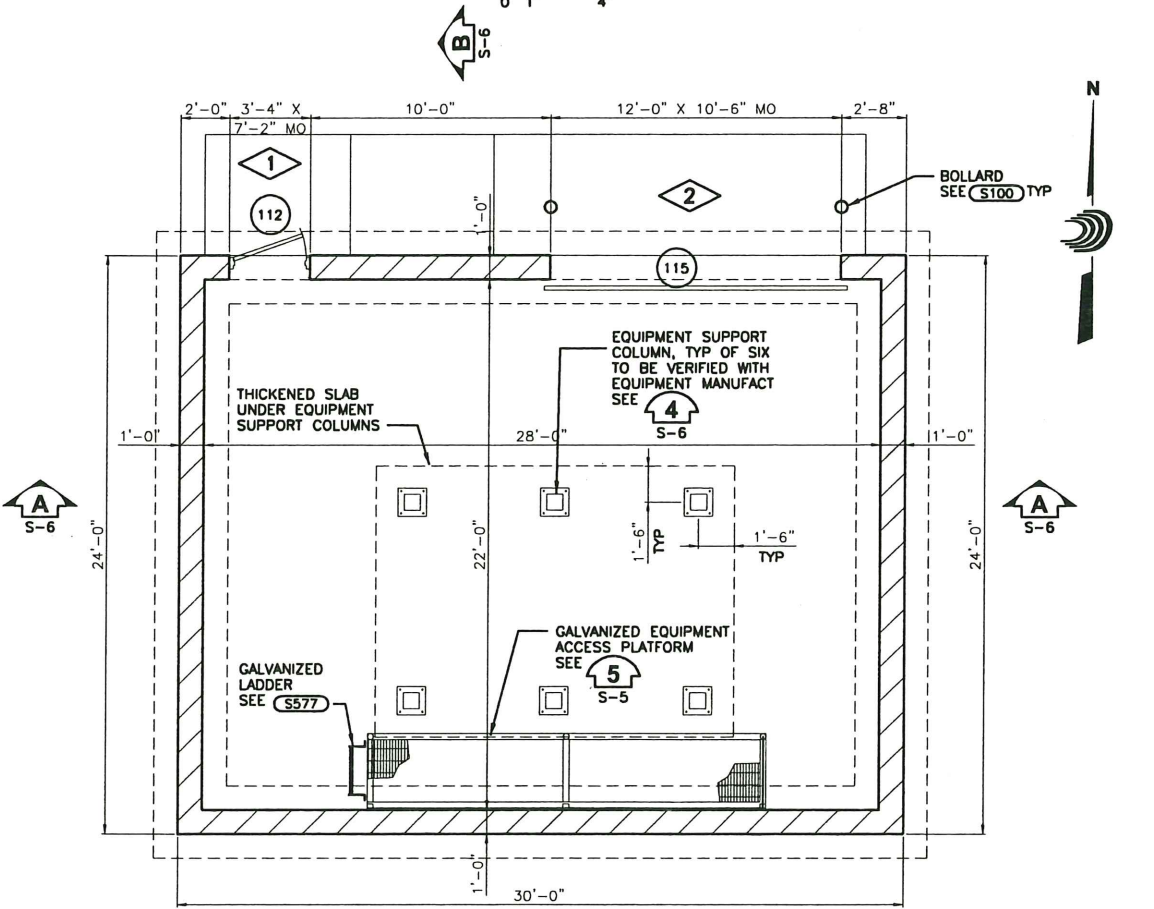
CITY OF WORTHINGTON  
DECHLORINATION SYSTEM IMPROVEMENTS  
MUNICIPAL WWTF & INDUSTRIAL WWTF  
WORTHINGTON, MN  
MUNICIPAL WWTF  
DECHLORINATION BUILDING-SECTION



Sheet No. 14  
Drawing No. 75-SM-2



**ROOF PLAN**



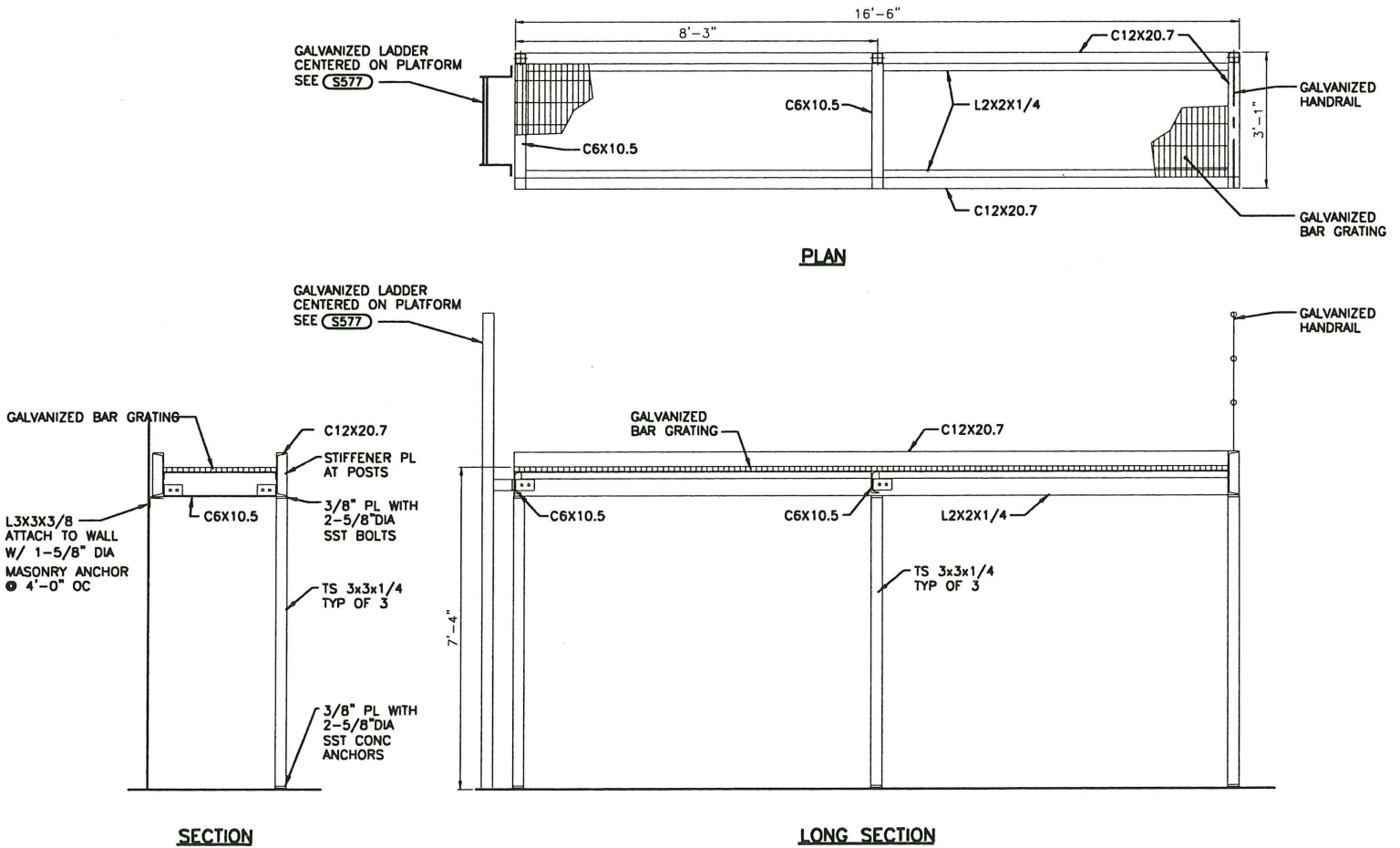
**FLOOR PLAN**

**GENERAL NOTES:**

1. INSULATE ALL MASONRY WALL CAVITIES FULL HEIGHT WITH FOAMED IN PLACE.
2. PROVIDE VAPOR BARRIER OVER 6" FREE DRAINING SAND BENEATH FLOOR SLAB ON GRADE.
3. REINFORCE ALL 12" CMU WALLS WITH #5@48" VERT. PROVIDE HORIZ JOINT REINFORCING AT 16" OC
4. PROVIDE WATER REPELLANT MASONRY MORTAR AND MASONRY SEALER ON ALL INTERIOR AND EXTERIOR WALL SURFACES.
5. PROVIDE TROWEL AND SEALER AT FLOOR SLABS.

**PLAN NOTES:**

1. 4'-0"x5'-4" STOOP. SEE (S364)
2. 4'-0"x14'-0" APPROACH SLAB. SEE (S364)



**SECTION**

**LONG SECTION**

- NOTES:**
1. HOT-DIP GALVANIZE ALL STEEL AFTER FABRICATION.
  2. ALL ANCHORS TO BE STAINLESS STEEL

**EQUIPMENT ACCESS PLATFORM DETAILS**

5  
S-5

**RECORD DRAWING**  
 REVISED TO CONFORM TO  
 CONSTRUCTION RECORDS  
 PROVIDED BY CONTRACTOR  
 BY: DAVID FROM DATE: 09/02/2004

Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	B.S.B.
Drawn By	J.R.H.
Checked By	R.D.P.
Approved By	B.S.B.
Filename	2005P01.DWG
Project No.	10571
Project Date	FEB 2003

I hereby certify that this plan, specifications, or report was prepared by or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.  
 Signature: \_\_\_\_\_  
 Printed Name: Bradley Scott Bjork  
 Date: 02/28/03 Reg. No. 19593

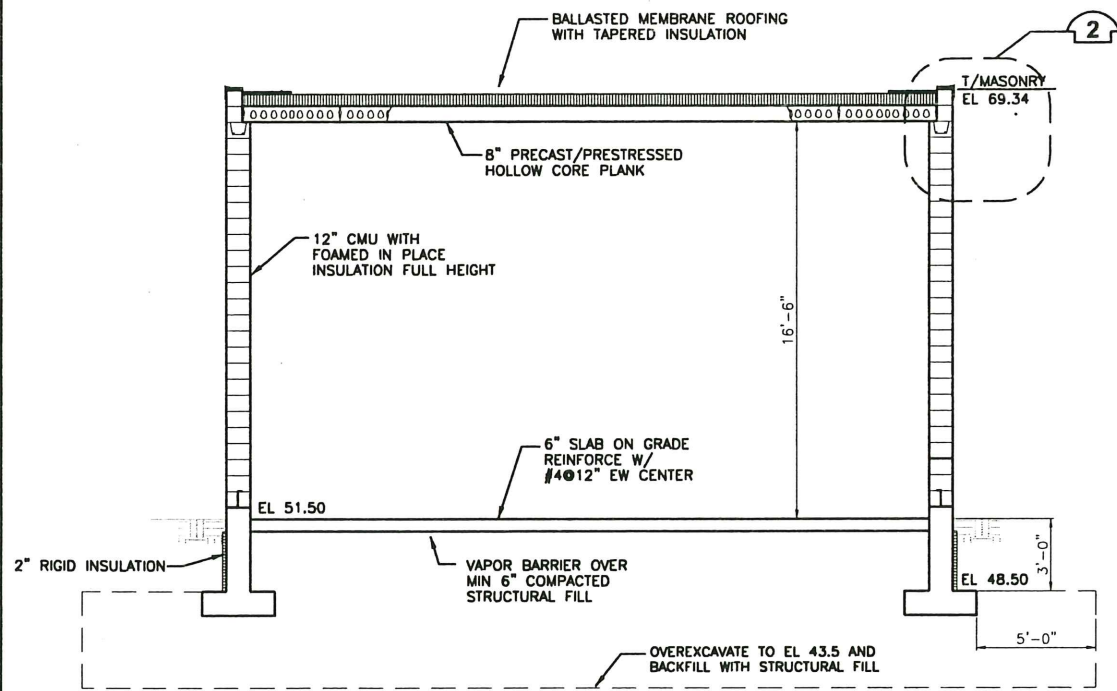
**WORTHINGTON INDUSTRIAL TREATMENT FACILITY  
 WASTEWATER TREATMENT IMPROVEMENTS  
 PHOSPHORUS REMOVAL AND SLUDGE HANDLING  
 WORTHINGTON, MINNESOTA**  
 THICKENING BUILDING  
 PLAN

**Worthington  
 Minnesota**

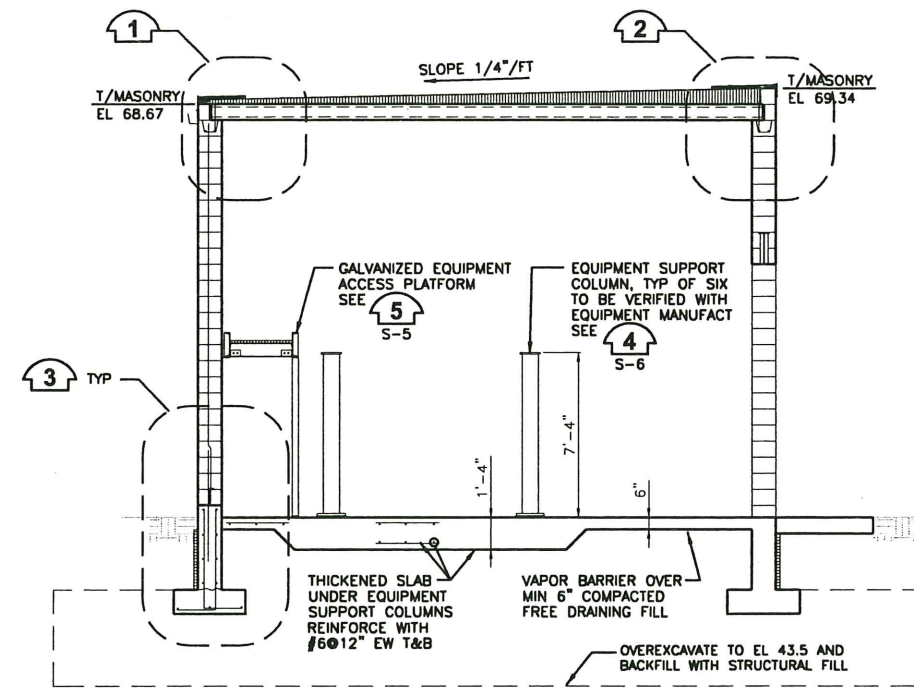
**DONOHUE  
 ASSOCIATES**

Sheet No. 18  
 Drawing No.

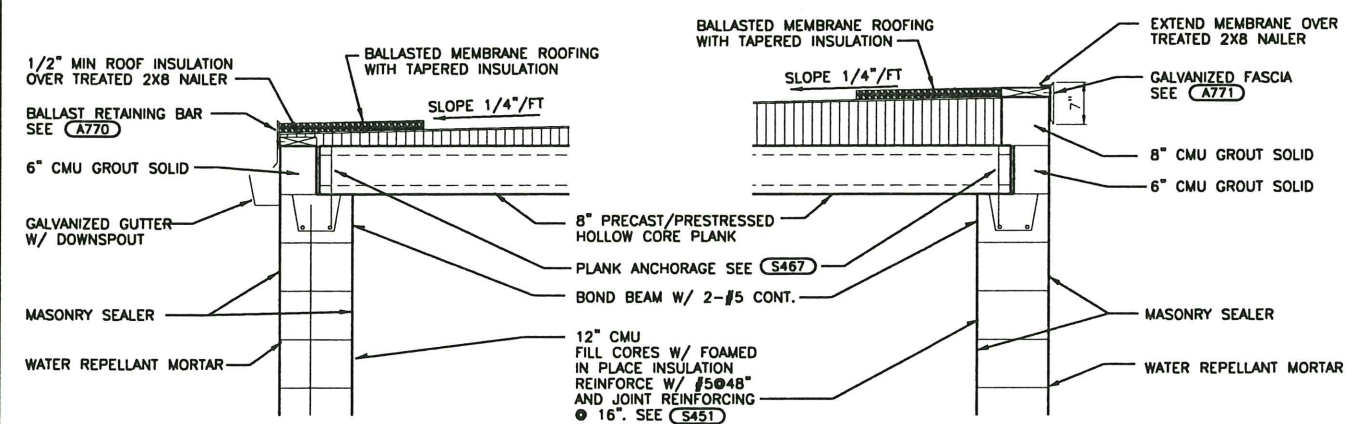
S-5



**SECTION A**  
S-5  
0 1' 4'

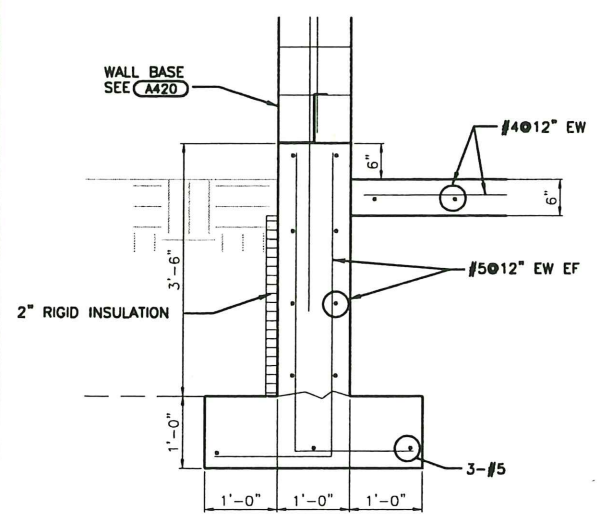


**FLOOR PLAN B**  
S-5  
0 1' 4'

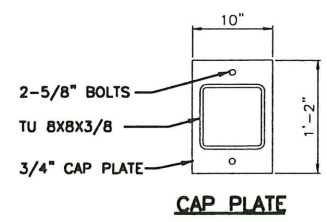


**ROOF EDGE DETAIL 1**  
S-6  
0 3' 4'

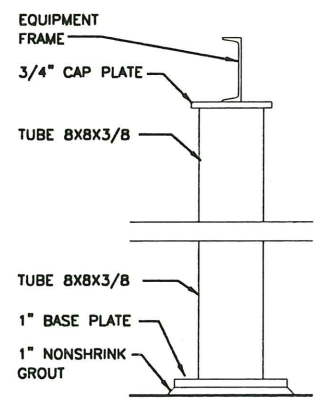
**ROOF EDGE DETAIL 2**  
S-6  
0 3' 4'



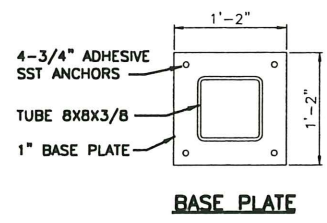
**WALL BASE DETAIL 3**  
S-6  
0 3' 4'



**CAP PLATE**



**EQUIPMENT SUPPORT COLUMNS DETAILS**  
S-5  
S-6



**BASE PLATE**

- NOTES:**
- HOT-DIP GALVANIZE ALL STEEL AFTER FABRICATION.
  - ALL ANCHORS TO BE STAINLESS STEEL
  - VERIFY DIMENSIONS AND DESIGN WITH EQUIPMENT MANUFACTURER PRIOR TO FABRICATION.

Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	B.S.B.
Drawn By	J.R.H.
Checked By	R.D.P.
Approved By	B.S.B.
Filename	200SP01.DWG
Project No.	10571
Project Date	FEB 2003

I hereby certify that this plan, specifications, or report was prepared by or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: Bradley Scott Bjerke  
 Printed Name: Bradley Scott Bjerke  
 Date: 02/28/03 Reg. No. 19593

**WORTHINGTON INDUSTRIAL TREATMENT FACILITY  
 WASTEWATER TREATMENT IMPROVEMENTS  
 PHOSPHORUS REMOVAL AND SLUDGE HANDLING  
 WORTHINGTON, MINNESOTA**

**THICKENING BUILDING  
 SECTIONS AND DETAILS**

**Worthington  
 Minnesota**

**DONOHUE  
 ASSOCIATES**

**RECORD DRAWING**  
 REVISED TO CONFORM TO  
 CONSTRUCTION RECORDS  
 PROVIDED BY CONTRACTOR

BY: DAVID FROH DATE: 09/02/2004

Sheet No. **19**  
 Drawing No. **S-6**